

EMERYVILLE CITYWIDE DESIGN GUIDELINES



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EMERYVILLE DESIGN GUIDELINES

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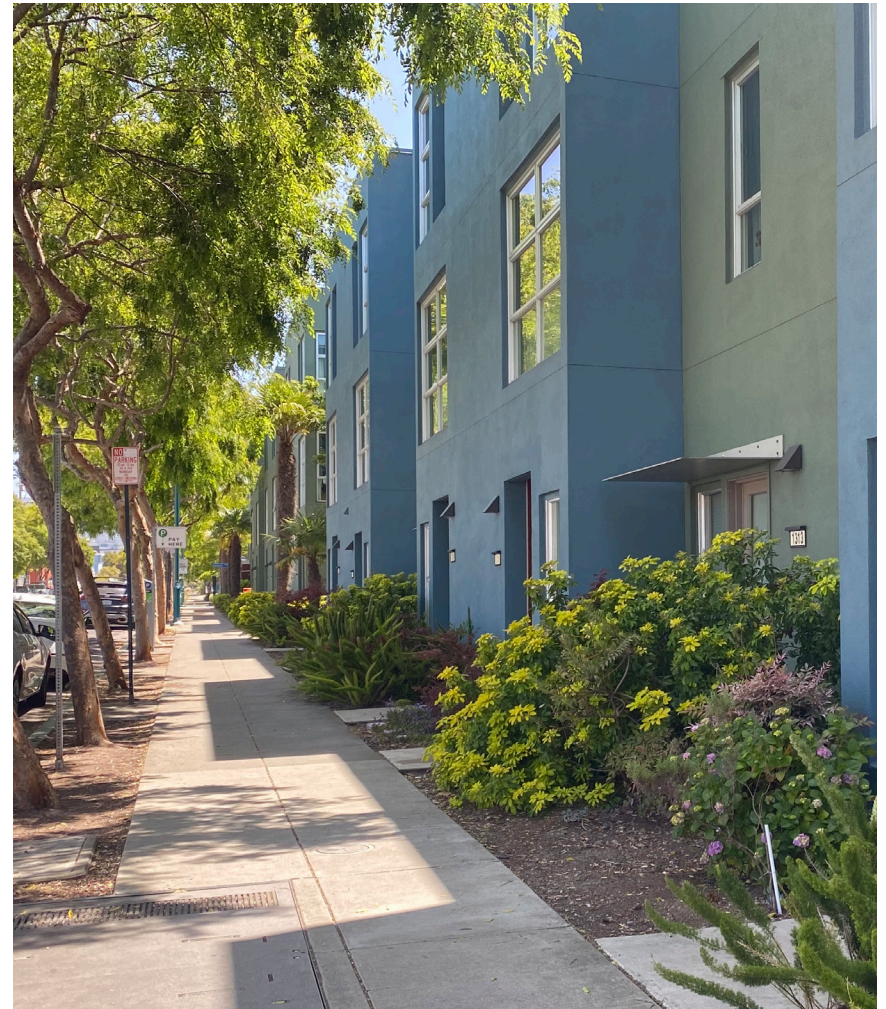
EMERYVILLE DESIGN GUIDELINES

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Glashauss frontage on 65th Street, Emeryville, CA.



Avalon South. Southern façade facing Market Drive and Christie Avenue Park, Emeryville, CA.

1 INTRODUCTION

PURPOSE & APPLICABILITY

The Emeryville Design Guidelines provide guidance for achieving high quality design. While the Guidelines largely address private development and its relationship to the public realm, guidelines for street landscaping and sidewalk design are also outlined. The Guidelines are intended to assist project applicants during the project design phase and City staff and decision makers in the review and approval process to meet the spirit of urban design goals. They provide specific and broad recommendations to create high quality buildings and site plans that will result in more attractive, livable, and safe streets and districts. They aim to be prescriptive enough to create a framework for design and to carry out the community's urban design vision—articulated in the General Plan Urban Design Element and applicable area plans—but flexible enough to allow for creativity and innovation in design and planning.

These guidelines were first written in 2010, immediately following adoption of the General Plan. They have been updated over the years as the City's priorities have evolved. The guidelines were comprehensively updated in 2023 to respond to changes in State Law regarding compliance with objective standards for certain types of housing projects undergoing streamlined review.

HOW DO THE DESIGN GUIDELINES FIT IN TO THE REGULATORY PROCESS?

Basis for Design Review

Conformance with the General Plan and Zoning Ordinance are requirements for project approval. These Design Guidelines provide supplementary and advisory recommendations for developers and architects as they are designing their projects. They also serve as the basis for design review by the City, assisting City staff and decision makers in evaluating projects. Details of the design review process can be found in the Zoning Ordinance.

Relationship to Other Plans and Programs

GENERAL PLAN

These Guidelines build on the guiding principles of the Emeryville General Plan, which express the community's vision for Emeryville's evolution from a center for commerce into a livable and diverse city for residents, workers, and visitors. The General Plan includes an Urban Design Element (chapter 5) which establishes the City's design related goals and policies.

These Guidelines take implementation a step further by providing specific guidance for project design to meet the intent of General Plan goals, policies, and actions. For example, the Design Guidelines outline recommendations for site planning to improve pedestrian accessibility; for open space to maximize sunlight; and for landscaping to improve air quality, stormwater management, and visual beauty.

PLANNING REGULATIONS

The Planning Regulations establish development standards for many elements of building and site planning, including massing, setbacks, open space, landscaping, parking, and site design. Collectively, these requirements shape the relationship of the building to the street and the look and feel of a community. The Guidelines supplement objective standards in the Planning Regulations with qualitative direction—providing a broader illustration and interpretation of the individual standards and examples for how project applicants can meet requirements and the intent of the City’s vision.

Applicability: Housing Development Projects

Housing Development Projects that are only required to meet objective standards in the Planning Regulations are not required to meet subjective design guidelines in this document. However, the City recommends that applicants with Housing Development Projects continue to refer to these Guidelines since they identify the City’s design priorities and illustrate successful project examples.

SPECIFIC AND AREA PLANS

The City maintains plans for districts and neighborhoods and may prepare additional documents in the future that address design of streets, parks, and other public infrastructure. By law, these plans must be consistent with the General Plan.

Both these Design Guidelines and any relevant area plan should be consulted by the project applicant. As the area plans are tailored to the unique needs of different areas, provisions of these plans take precedence if there are conflicts.

Currently, area plans include:

- North Hollis Area Urban Design Program
- San Pablo Avenue Urban Design Plan
- South Bayfront Design Guidelines
- Park Avenue District Plan
- Shellmound Design Guidelines

Relevant Related City Policies

- Active Transportation Plan
- Sustainable Transportation Plan
- Powell Street Urban Design Plan
- Street Furniture Catalog
- Street Tree Species List
- Tree Planting Guide

ORGANIZATION

The document is organized into three chapters, following this introduction.

Chapter 2: General Guidelines: This chapter provides general guidelines that are applicable to all projects regardless of site location or use.

Chapter 3: District Specific Guidelines: This chapter supplements the General Guidelines, providing guidelines applicable to specific General Plan designations. Property owners should refer to the figures on the following pages to determine relevant Area Specific Guidelines and consult the General Plan for any amendments that have been made.

Chapter 4: Building Type Guidelines: This chapter supplements the General Guidelines, providing guidelines applicable to building type. Property owners should refer to the figures on the following pages to determine relevant Building Type Guidelines.

Figure 1-1 Land Use Diagram

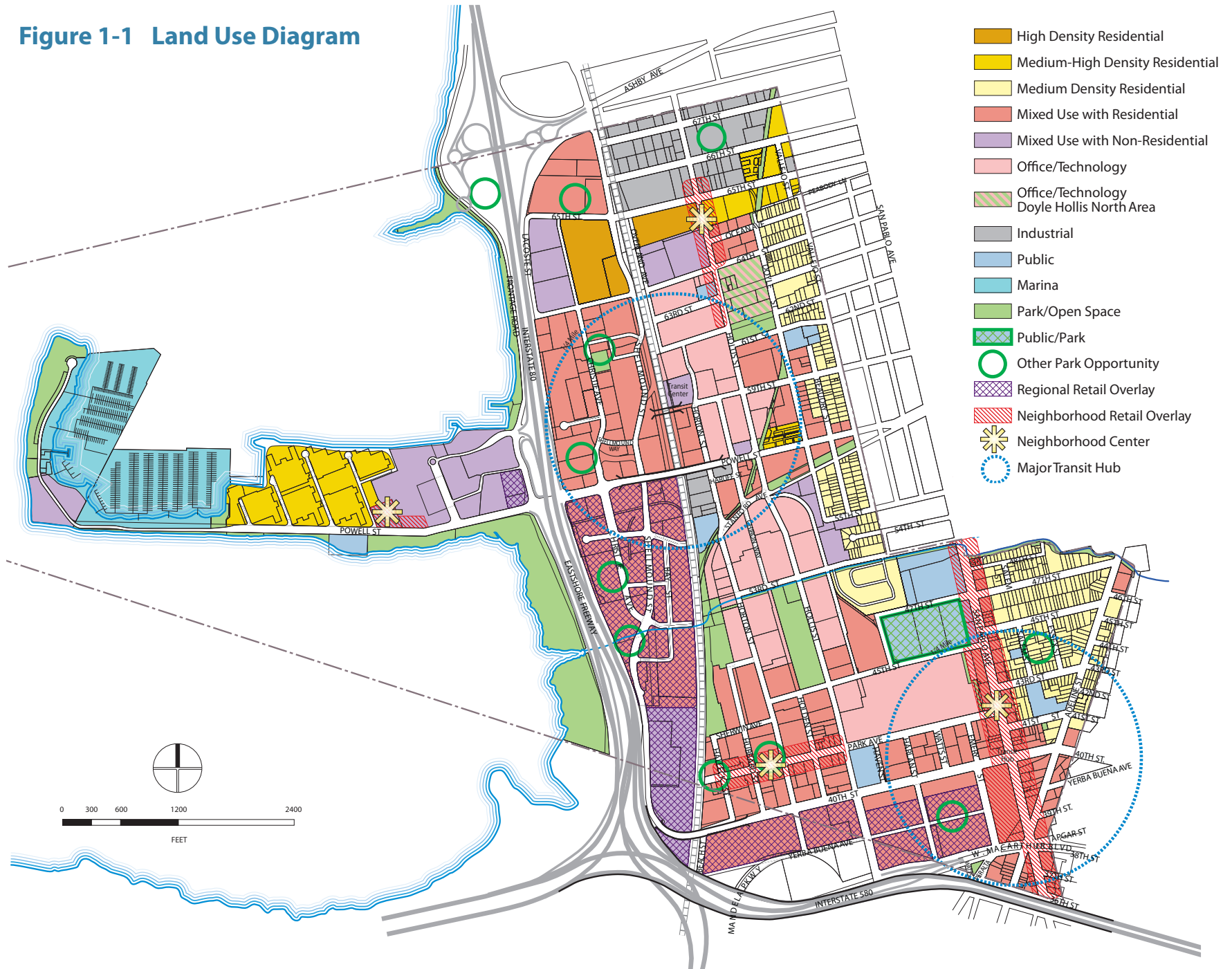


Figure 1-2 City Structure

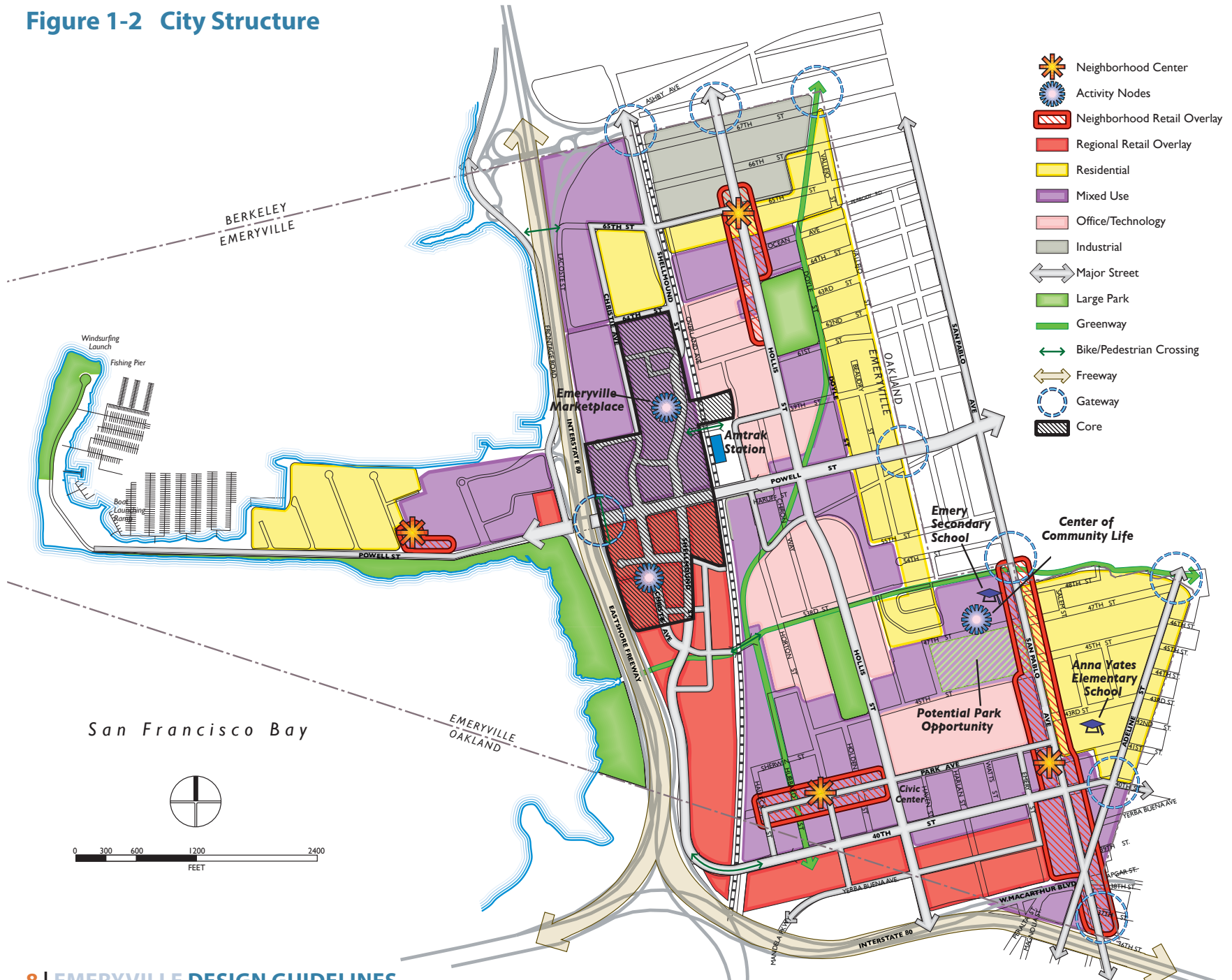


Figure 1-3 Connectivity

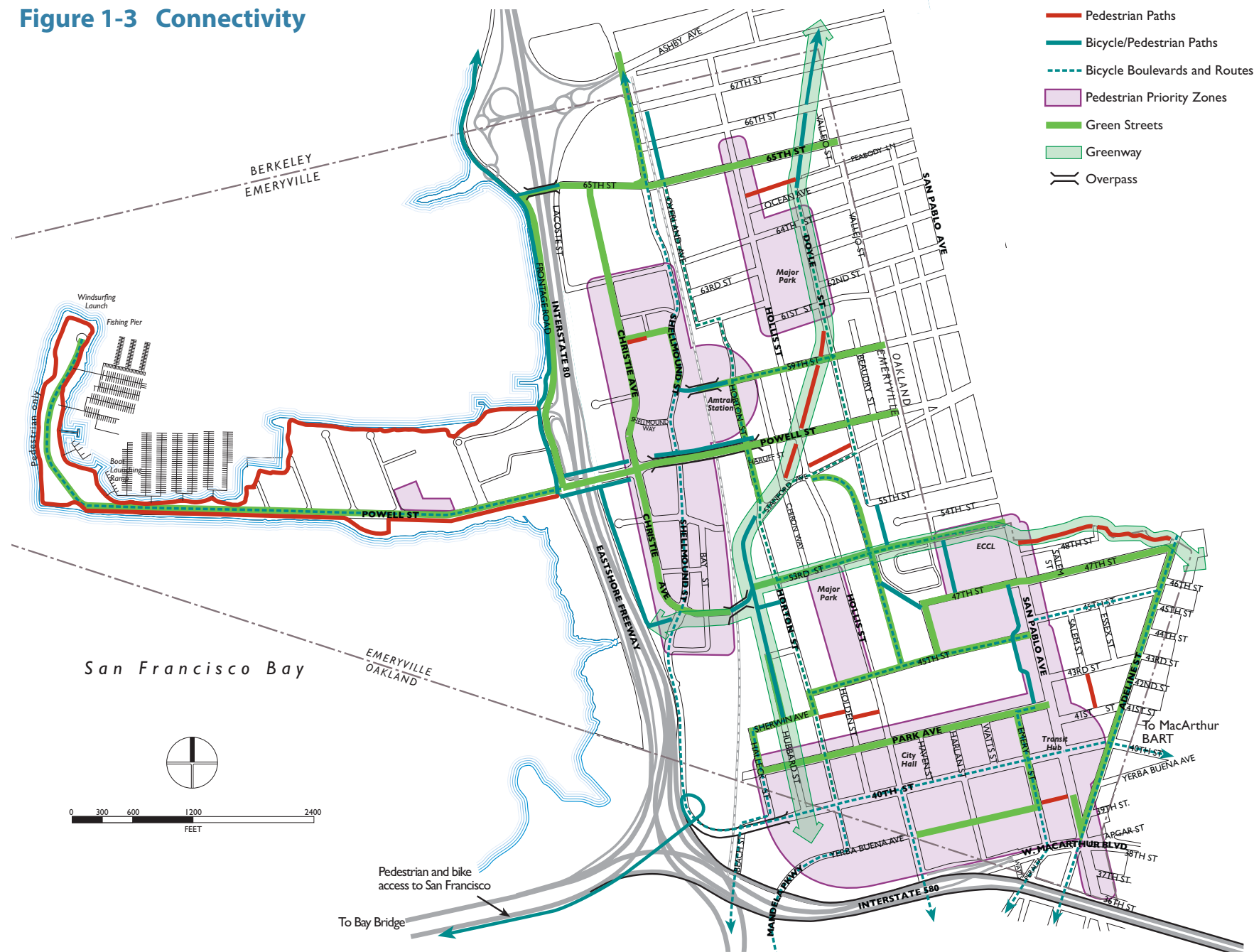
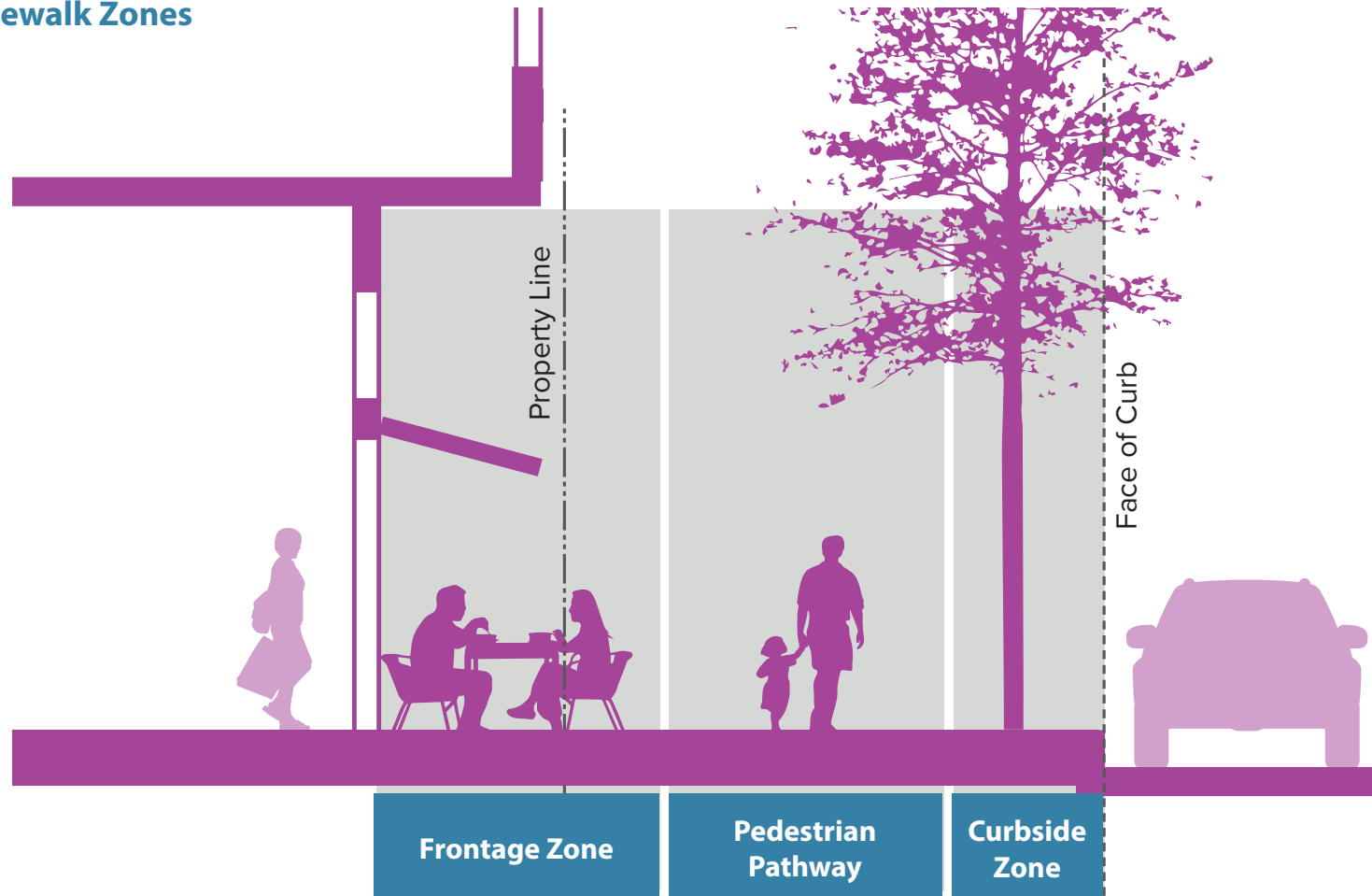


Figure 2-1 Sidewalk Zones



2 GENERAL GUIDELINES

The guidelines in this chapter apply to all sites in Emeryville, regardless of building, land use type, or location.

A. SIDEWALKS AND LANDSCAPING

The guidelines consider the interface between private development and the public realm in order to create a pedestrian-scaled experience. The design and condition of sidewalks and landscaping affect the pedestrian environment, mobility, and social activity. This section provides guidelines for the public streetscape, which includes the sidewalks and any publicly accessible open spaces from curb edge to the property line.

Sidewalk and curb standards, and the Urban Forestry Ordinance can be found in Title 7: Public Works of the Emeryville Municipal Code. The Planning Regulations (Section 9-4.708) identify specific sidewalk dimension requirements.

Sidewalks

Consider the following three components in the design of the sidewalk area, as shown in Figures 2-1 and 2-2:

Frontage Zone

This area furthest from the curb represents the interface between the street and the building, providing accessibility and visibility between buildings and the street. Building entrances may be signified with architectural detailing, articulation, canopies, or signage. On active pedestrian streets, this area may include space for outdoor dining, displays (e.g. produce stands), and plazas.

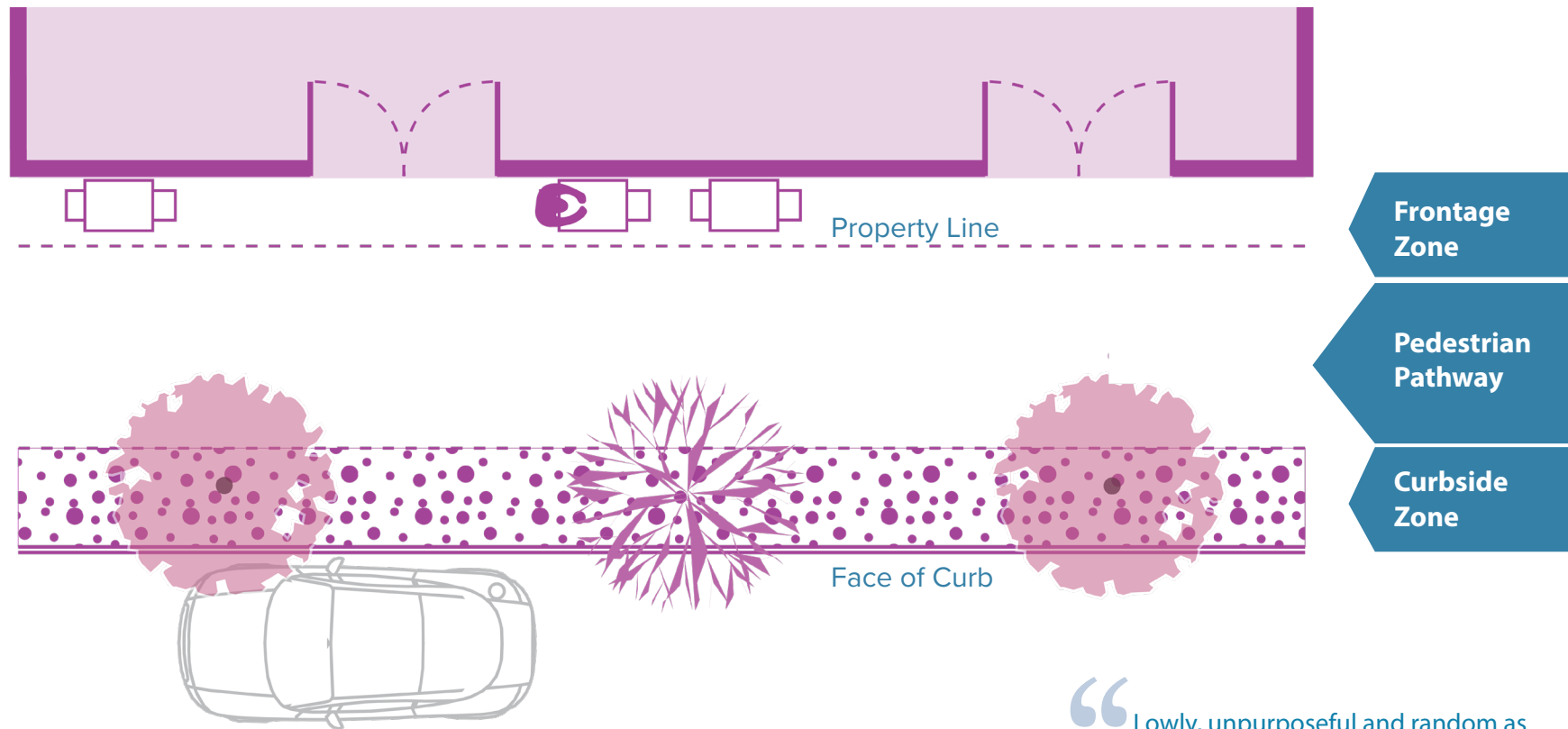
Pedestrian Pathway

This middle area is the unobstructed path of travel for pedestrians. Public sidewalks shall provide horizontal and vertical clearance to accommodate convenient and comfortable pedestrian circulation.

Curbside Zone

The Curbside Zone is the section of sidewalk that adjoins the street and buffers pedestrians from the adjacent roadway. This zone is the appropriate location for the majority of the public facilities and streetscape amenities that enhance and serve the pedestrian zone, including features such as street trees, landscaping, street lights, transit stops, parking meters, fire hydrants, benches, news racks, and other street furniture and curbside amenities.

Figure 2-2 Sidewalk Zones in Plan View



“Lowly, unpurposeful and random as they appear, sidewalk contacts are the small change from which a city’s wealth of public life must grow.”
- Jane Jacobs

A-1: Street Lighting

Adequate lighting should be provided on streets to ensure safety and usability at night.

A-2: Utility Boxes

Underground utility boxes, transformers, and lines, where possible, or locate these outside the pedestrian pathway in order to provide unobstructed walkways and views.

A-3: Outdoor Dining

Where feasible, wide sidewalks should be provided to allow outdoor dining or other retail uses, while maintaining an adequate continuous walkway for pedestrians. Sidewalk cafes require a Planning permit.

A-4: Design to Support Pedestrians and Cyclists

Encourage the multi-functionality and flexibility of streets, by supporting various modes of travel and pedestrian and bicycle amenities (e.g. places to sit and bicycle parking).

A-5: Design to Support Transit Users

Provide bus stops with seating, trash cans, weather protection, lighting and travel information.

Street Landscaping

A-6: Planting Strips

Minimize paved area and maximize planting areas where feasible.



Outdoor dining in the frontage zone of Public Market Emeryville, next to the pedestrian pathway and curbside zone on Shellmound Street.

B. PARKING AND ACCESS

These guidelines seek to provide adequate and convenient parking and loading areas while minimizing their visibility, to prevent conflicts between vehicles and pedestrians and cyclists, and to reduce paved areas which cause the urban heat island effect. Readers should also refer to the parking requirements in the City's Zoning Ordinance.

B-1: Reduce Pedestrian Conflicts

Explore sharing driveways and/or loading areas with adjacent property owners.

B-2: Drop-off Locations

Where possible, provide drop-off locations on site. Alternatively co-locate with driveways or parking garage entrances.

B-3: Loading

Truck loading should be designed to be off the public right-of-way. Avoid locating access to loading areas on major streets.

B-4: Structured Parking

Design structured parking as an integral part of the project it serves. When feasible structured parking should be wrapped by non-parking uses. Design considerations include:

- Blank walls along the public right-of-way are strongly discouraged.
- Compose openings within the parking structure façade to appear similar to well-proportioned windows rather than continuous open strips.
- Use contrasting, high-quality materials that generate a multi-layered façade (for example glass, perforated metal, or decorative screens).

- Employ landscaping (such as green screen, vines, or landscaped trellis) as a screening, as long as it is compatible with building design.
- Emphasize stair towers and pedestrian entries as identifying architectural elements.
- Consider incorporating public art into the façade.

B-5: Pedestrian Entries

Orient pedestrian entries to be visually open and free of visual obstruction to ensure safety and minimize conflicts between pedestrians, bicycles, and vehicles. Entries may be located on the primary street frontage or on a side street (as long as there is sidewalk access and signage) near the intersection with the primary street.

B-6: Bicycle Lockers

Consider the use of bicycle lockers for long-term bicycle parking spaces.

B-7: Bicycle Facilities

Nonresidential uses are encouraged to provide showers and clothes lockers where bicycle parking is required.

B-8: Structured Parking Façade Lighting

Ensure adequate lighting along garage façades to improve visibility and pedestrian safety.

B-9: Convertible Parking Structure Design

Design parking garages so that they can flexibly be converted into other uses, such as office, commercial, or residential, in the future as demand for vehicle parking decreases.

C. SITE PLANNING

Careful site planning supports walkability at the street-level and quality of life for building occupants by facilitating sunlight, views, plazas and open spaces, and visual interest. These guidelines encourage sunlight, views, accessibility, beauty, and energy efficiency in the siting of buildings and projects.

C-1: Interactive Siting

Site buildings and locate plazas, building entrances, seating, and visually interesting architectural features to encourage interaction among occupants and passersby.

C-2: Design for Climate Change

Consider conditions such as extreme heat, smoke, and wind. Design for passive heating, cooling, and ventilation.

C-3: Transitions between Existing and New Development

Consider edge conditions and transition areas during site design between existing and new development.

C-4: Mid-Block Connections

Create building openings that permit mid-block pedestrian connections, thereby breaking up “super blocks” and expanding the pedestrian network. Pathways should be at least 10 feet wide, publicly accessible during daytime hours, accessible for people with disabilities and connect to a public street, other paseo, and/or publicly accessible open space. Where feasible mid-block connections should be open to the sky.

C-5: Landscape Temporarily Unused Sites

As a temporary measure, unused or underdeveloped portions of a site should be planted with ground cover, at a minimum. Consult Bay-Friendly Landscape guidelines.



Guideline C-1: Interactive Siting. *Parc on Powell Apartments facing Bark Park on Stanford Avenue.*

D. BUILDING MASSING

Massing refers to the bulkiness of buildings. A building or a series of buildings that is slender, tiered, or varied in height and shape permits light and air to pass through; allows views; and creates visually interesting skylines. Bulky buildings, on the other hand, can cast large shadows and obstruct sunlight and views. Building massing guidelines seek to define a skyline that supports pleasant, safe, and sunlit streets and sidewalks.

D-1: Building Massing

Consider the three-dimensionality of buildings and how they are perceived from the ground-level, public streets, and side streets.

D-2: Massing Variation Encouraged

Encourage variation and articulation through changes in height and massing.

D-3: Maintain a Consistent Street Wall

The street wall, formed by the exterior walls of the buildings fronting the street, should produce a safe, attractive, and cohesive streetscape where pedestrians can see building entrances, signs, and businesses.

- At strategic locations—such as street corners or building entrances—plazas are permitted and encouraged as interruptions to the street wall. (See “Neighborhood Retail Overlay and Neighborhood Centers” and “Pedestrian Priority Zones” in Section 3: Area Specific Guidelines.)



Guideline D-2: Massing Variation Encouraged. *Parc on Powell Apartments at the corner of Hollis Street and Powell Street.*



D-4: Street Wall Design

Design the street wall, or exterior façade of street facing buildings, to create visual interest and diversity, and to reinforce the pedestrian scale and character of the street

- Blank walls along the public right-of-way are strongly discouraged. (See Urban Design Element Policy UD-P-65.)
- Providing engaging ground floor uses and frontages with art, commercial spaces, residential units, and community spaces is encouraged.

D-5: Highlight Corners

On corner lots consider changes in massing; building and soffit height; and/or create defined building entrances or small plazas by increasing ground level setbacks.



Upper image:

Guideline D-4: *Street Wall Design.* The Watermark By The Bay street wall design on 40th Street includes public art, commercial spaces and community spaces.

Lower image:

Guideline D-5: *Highlight Corners.* The design of the Aero Apartments (Atlantic Avenue and Ardent Way in Alameda, CA) highlights the corner of the building with changes in massing, materials, color, and increased ground level setbacks.



Guideline E-1: *Creative Building Forms.* The Avenue 64 Apartments on Christie Avenue utilize roof overhangs, color, and details to enhance the building form.



Guideline E-2: *Provide Visual Interest.* The façade of the Avalon Public Market on 63rd Street has variation in materials, color, and balconies that provide visual interest.

E. BUILDING FORM AND ARTICULATION

Building form and articulation further shape a building's identity. Façade composition can create unified and harmonious buildings, promote distinctive architecture, and visual diversity. These guidelines seek to respect Emeryville history and existing neighborhood character; maximize visual interest and visibility; balance privacy and safety; and ensure pedestrian orientation.

Architectural Style

No particular architectural style is mandated for any area in the city. Rather, these Guidelines encourage and are adaptable to a range of styles. All development should be sensitive to the context and the surroundings, without necessarily conforming to the architectural style of surrounding development.

General Plan Guiding Principle #10. An imageable and memorable city. The City will foster high-quality new construction of exceptional design while preserving and enhancing the best of existing buildings and neighborhoods. The City will foster a dramatic skyline of slender and elegant high rise buildings stepping down to low-rise buildings in the older residential neighborhoods. Enhance the experience of entering Emeryville with attractive and appropriate streetscape improvements along major regional and city arterials. Collectively, these elements serve to foster Emeryville's character as a vibrant, connected, livable community, and a rising signature city from afar and within.

Building Form

E-1: Creative Building Forms

Find opportunities for diversity, creativity, and innovation in building form. Use architectural features, such as integrating art into doors and entrance areas, and through colors and details.

Building Articulation

Building details, materials and color are particularly effective tools in establishing continuity and variety in design and quality within a development or among adjacent buildings. The following guidelines seek to ensure high quality design and visual interest through durable and attractive building materials, color, and detailing.

E-2: Provide Visual Interest

Articulate the building base with a change in materials, color and finishes, fenestration pattern and size, and/or an emphasized building entrance. Additional accent materials such as tile insets or natural stone should be used at the base of the building to provide added texture, color and visual interest at the pedestrian level.

E-3: Provide Shade

Use awnings and over-hangs to provide shelter and shade over the sidewalk to enhance the pedestrian realm. Awnings should be made of durable, high quality materials and should not interfere with the tree canopy.



Guideline E-5: *The exterior design of The Emery as viewed on Horton Street includes openings that vary, frames, sills, and balcony recesses that cast shadows on the façade and add depth and visual interest.*

E-4: Window Design

Use window design and proportions to add architectural interest to the building. Window designs should help differentiate the various components of the building (e.g. ground floor lobbies, stair towers, corners, office suites, or residential units). Window frames, sills, and/or recesses should be used to add visual interest. Windows should have regular patterns or be coherent in their variety (e.g. in shapes and proportions).

E-5: Active Ground Floor Uses

- Design the base of the building facing the public street to accommodate commercial uses, where feasible.
- Orient tenants spaces and windows toward the primary street to engage pedestrian interest.

E-6: Integrate Exterior Lighting

Design exterior building lighting as an integral part of the façade:

- Design exposed standards and fixtures to be harmonious with the building design, and complement lighting in the public right-of-way.
- Provide lighting at all entryways, alcoves or other features of the building to ensure visual surveillance of the building and its public areas and foster a sense of safety.
- Use lighting to highlight architectural detailing and/or unique features.
- Prevent light spillover into windows.
- Consider dark-sky compliant fixtures.



Guideline E-5: Active Ground Floor Uses. Shops line San Pablo Avenue of this 4-story mixed-use building.



Guideline E-6: Exterior lighting is harmoniously integrated with the building design and located along each bay to provide visual surveillance of the sidewalk at night at The Emery Apartments on Hubbard Street.



Guideline F-1: *The entrance to the apartments at 2000 Ardent in Alameda, CA is emphasized with a canopy, decorative metalwork, and transparency at the ground floor.*

F. BUILDING DESIGN

Building Entrances

F-1: Entrances

- All public entrances should be visible and accessible. Building overhangs, canopies, and entryway landscaping should not obstruct views, the street tree canopy, or street signs.
- Create building entries with entry plazas, vertical massing, and architectural elements, such as awnings, or porticos. Design entries so that they are clearly defined and distinguishable as seen from the street.
- Protect entrances from wind through site planning, screening, and entrance design.

Building Materials

F-2: High Quality, Durable Materials

Use high-quality, durable architectural materials and finishes that provide a sense of permanence throughout the exterior and public interior spaces of the buildings.

Design Features to Conceal and Integrate

F-3: Integrate Building Infrastructure into Architecture

Building infrastructure, and energy and mechanical systems (including water towers, gutters, etc.) should be architecturally integrated into buildings. Incorporate rain gutters and other drainage devices into the structure and design of the building so that they are less visible.

Sustainable Design Features

F-4: Design for Water Conservation

Install water saving appliances and systems such as gray water systems, moisture-sensitive irrigation rainwater cisterns, low-flow toilets and faucets. Any exterior systems should be integrated into building design.

F-5: Utilize Natural Ventilation

Provide operable windows that allow natural ventilation and potentially eliminate the need for mechanical ventilation. If mechanical systems are necessary, use energy-efficient and low emission heating, ventilation and air conditioning (HVAC) systems.

F-6: Sustainable Building Materials

Minimize the overall environmental impact of development, by giving preference to sustainable building materials.

- Consider using recycled and/or locally obtained materials, sustainably harvested wood, bamboo, and non-toxic, low-VOC (volatile organic compound) glues and paints.
- Use sustainable surface materials for paving, such as reclaimed pavers, locally produced materials, or concrete and asphalt with fly ash content.

F-7: Passive Cooling with Plants

Use trellises and vines or other plantings on building exteriors to insulate and cool interiors.

F-8: Integrate Green Roofs

All green roofs must be designed to permit routine maintenance and irrigation, as necessary. Incorporate green roofs into building design to manage stormwater runoff and reduce energy consumption through insulation.

General Plan Guiding Principle #9. Sustainability and innovation, with respect for the past. The Emeryville community strives to live within means that do not compromise the ability of future generations in Emeryville to enjoy a livable, healthy, and vibrant city. The Plan encourages redevelopment of contaminated land as a healthy and cost-effective way of improving the local environment, use of “green” construction techniques, and a lifestyle with low ecological impacts upon energy consumption, climate, and the natural environment. The City will interweave the future and the past, while respecting the scale, character, and use of the historical Doyle and Triangle neighborhoods and other districts.



Guideline F-8: Green roof on West Elm at Bay Street along Shellmound Street.



Guideline G-1: *The design of these balconies at Avalon South on Market Drive ensure safety, sunlight access, wind protection, and privacy.*

G. OPEN SPACE

Functional outdoor space for gathering and for the extension of indoor activities supports walkability, livability, and pedestrian activity throughout the public realm. Given Emeryville's good weather, open space should be designed as part of developments for private and public use. Landscaping in any type of project can also serve to establish a boundary between public and private spaces, manage stormwater, support passive heating and cooling, improve air quality, and beautify the urban environment. These Guidelines address three types of open space.

Private Open Space

G-1: Balance Privacy and Access to the Outdoors

Balance privacy and safety with air and sunlight access, as well as wind protection.

G-2: Balcony Railing Design

Orient balcony railing bars vertically to prevent climbing and facilitate vining plants, where appropriate. Balconies should be designed to be at least 50% transparent/visually permeable.

G-3: Visually Separate Open Spaces

Separate private open space with low walls, fencing, and landscaping from common areas and the public realm.

Common Open Space

G-4: Integrate Design of Open Spaces

Open spaces should be designed as an integrated element of the project (and the street or adjacent building, if applicable). Coordinate landscaping and amenities with the project's architecture and character.

G-5: Design to Encourage Interaction

Design common open spaces, landscaping, and amenities to encourage interaction among occupants.

G-6: Community Rooms

When possible, community rooms in planned developments should be located adjacent to open space.

G-7: Direct Sunlight

Design open spaces to have sunlight during at least part of the day and offer wind protection, comfort and safety to residents and tenants.

G-8: Safety and Security

Consider safety and security in the design: define and enclose open spaces through building configuration. Ensure that some portion of units or commercial spaces overlook the common open space.

G-9: Open Space Access

Design open space to be accessible to all living units in the development, directly or indirectly, through appropriate design and signage.



Guidelines G-4 and G-5: Private open spaces that face public spaces, like this public walkway through Leeward at Alameda Point in Alameda, CA, should be integrated with the design of the project and allow a visual connection.



Guideline G-10 and G-11: *Estrella Vista on San Pablo provides open space on the top of the podium, including a playground and outdoor seating areas. (Photo by KTG Architects)*

G-10: Roof Top Open Space

Consider installing roof terraces as an efficient way to use the site and to maximize sunlight access.

G-11: Outdoor Amenities

Provide walks, patios, swimming pools, barbecue areas, playgrounds, recreational facilities, turf, or other such improvements as appropriate to enhance the outdoor environment.

G-12: Outdoor Seating Design

Arrange seating for gathering, conversing, and supervising children's play areas.

Privately Owned Public Open Spaces

G-13: Location

Locate open space along the east, west, or southern portion of the site, where feasible, and design to maximize exposure to the sun, while protecting from wind.

G-14: Complementing the Public Right-of-Way

Ensure that landscaping complements and extends the design of the adjoining public right-of-way, where applicable.

G-15: Physical and Visual Accessibility

Design open space to be physically and visually accessible from the street and designed for public use, with signage, if appropriate.

General Plan Guiding Principle #3. Enhanced and connected open space network and green streets. The General Plan outlines strategies for an expanded public realm, building on the strength and connectivity of the city's greenways, with a range of new parks, plazas, community commons, and recreational paths. Open space is strategically located to maximize accessibility and building forms are organized to ensure that sunlight reaches streets and parks. Many more trees along streets and enhanced landscaping will provide a greener city.



Guideline G-13 through G-20. *The gardens at Liquid Sugar are sited to maximize exposure to the sun and complement the public right-of-way. The planting is climate appropriate and designed for public use.*

G-16: Direct Connection to the Sidewalk

Design open space that fronts the sidewalk to be primarily open and free of walls or other obstructions (not including trees, lights, and steps) and accessible at all times. Use landscaping strategically to identify pedestrian entrances and articulate edges for plazas and courtyards.

G-17: Climate Appropriate Landscape Materials

Use landscape materials that are climate appropriate, drought-resistant and that require minimal irrigation and maintenance. (See Bay-Friendly Landscaping guidelines described in Section A: Sidewalks and Landscaping.)

G-18: Provide Outdoor Seating

Provide ample seating, which can be comprised of benches, seating walls, and movable seating. A portion of seating should have back and arm support. Provide shaded seating areas, in addition to areas with full sun access.

G-19: Design for Activities

Encourage a variety of activities and events in open spaces to promote active uses, such as kiosks for private businesses or information and food vendors.

G-20: Pedestrian-Scaled Lighting

Provide pedestrian-scaled lighting, such as bollards or downward casting lamp posts.



*District guidelines are supplemental to general guidelines for the different districts in the Emeryville General Plan.
(Photo of Emeryville, Brontë Wittpenn/ The Chronicle.)*

3 DISTRICT GUIDELINES

The following guidelines supplement the general guidelines described in Chapter 2. They pertain to sites within specific General Plan designations or which are affected by certain conditions, building types and land uses.

Sites that lie within more than one area (e.g. a greenway within a Pedestrian Priority Zone), should meet the guidelines as prioritized here:

- Regional Retail Overlay
- Neighborhood Retail Overlay and Neighborhood Centers
- Greenways and Green Streets
- Pedestrian Priority Zones
- Eastern Residential Neighborhoods



Greenways and Green Streets are addressed with district guidelines.

H. AREA SPECIFIC GUIDELINES

Regional Retail Overlay

The Regional Retail Overlay is intended for sites that contain retail uses which have a regional draw. Guidelines ensure that large retail and mixed use sites support multi-modal access. Uses in this overlay should be easily accessible for vehicles, as well as by transit, bicycle, or on foot. These guidelines seek to create pedestrian-oriented projects that ensure the safety and comfort of all users.

H-1: Design for All Travel Modes

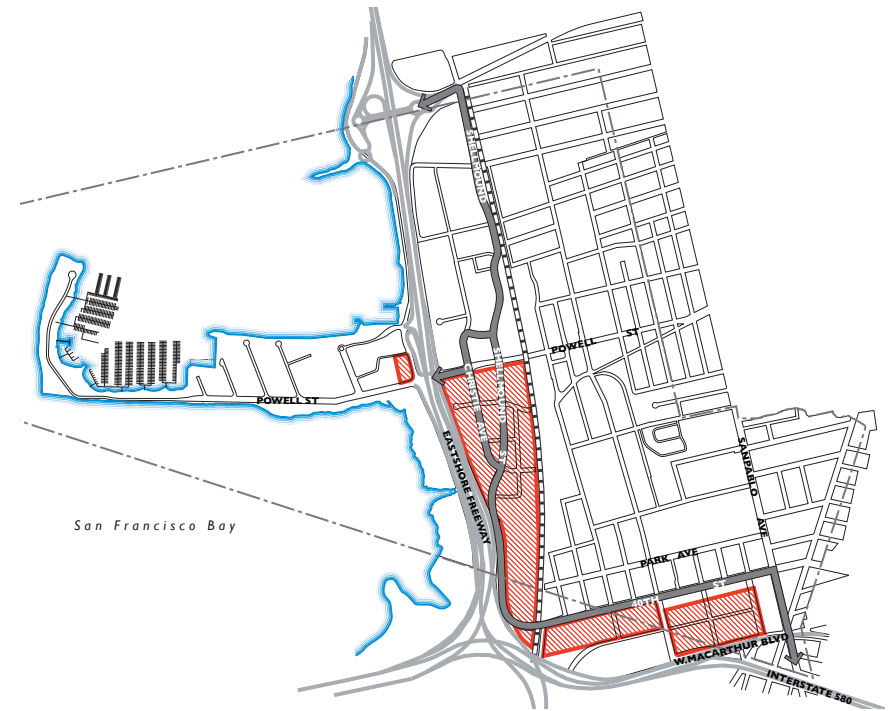
Design projects and buildings that support access and reduce conflicts between all travel modes.

H-2: Ground Level Active Uses

Locate active uses, such as retail, restaurants, hotel lobbies, offices, and flex space at the ground level, directly adjacent to and facing streets, as appropriate.

H-3: Visual Connections

Maximize transparency of retail and public space areas on public streets through architectural features and large windows.



Neighborhood Retail Overlay and Neighborhood Centers

Neighborhood centers are the focal points for residential communities, hosting neighborhood-serving uses, including local shops and services. The Neighborhood Retail Overlay, which encompass the neighborhood centers, supports pedestrian-oriented design and active streets through the following guidelines.

H-4: Foster Street Vibrancy

Design projects and buildings to foster street vibrancy, create attractive and well-landscaped settings, and enhance the neighborhood quality of life.

H-5: Pedestrian Oriented Design

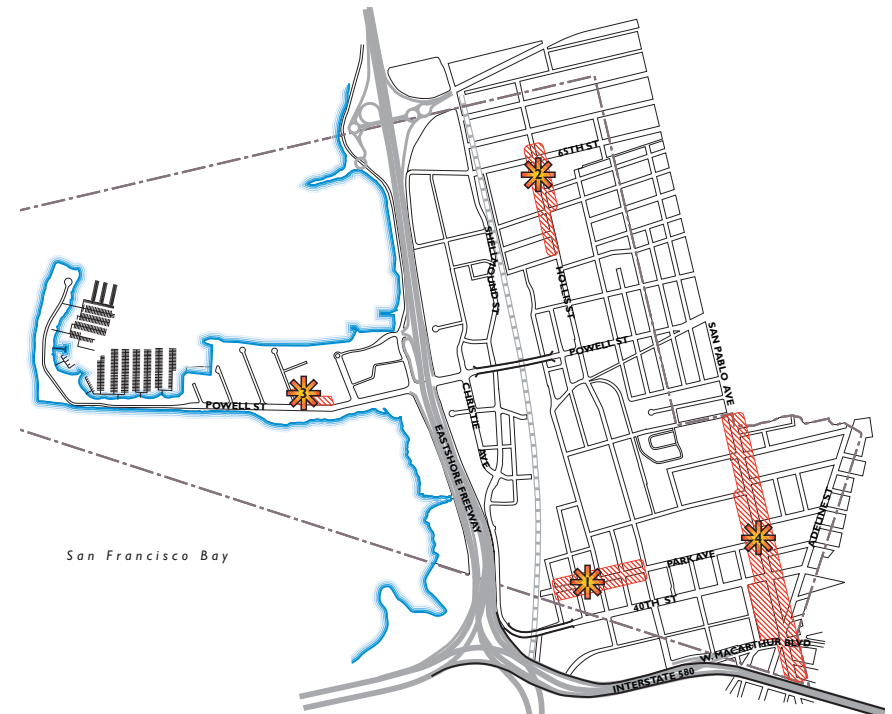
Design commercial establishments to complement the pedestrian oriented nature of the neighborhood centers and the scale of the neighborhood.

H-6: Active Ground Floor Uses

Devote a majority of the ground floor use, and a substantial portion of the frontage along any public street to active commercial uses, including stores, offices, services, community uses, flex spaces, and restaurants/café's that serve the local community.

H-7: Security Design

Where necessary, provide security screens on commercial spaces that are at least partially transparent. Opaque roll-down doors that cover storefronts are strongly discouraged.



Eastern Residential Neighborhoods

The eastern area of the city is composed of well-established residential neighborhoods with a mix of single family homes, townhomes and apartments. Although this area is not expected to change substantially in the coming years, new development should respect existing structures and character and find opportunities to enhance the neighborhood.

H-8: Streetscape Improvements

Seek opportunities to improve landscaping, sidewalk condition, and overall streetscape during rehabilitation and new construction.

H-9: Residential Design

Design infill residential development to be sensitive to the scale, character and identity of adjacent existing development.

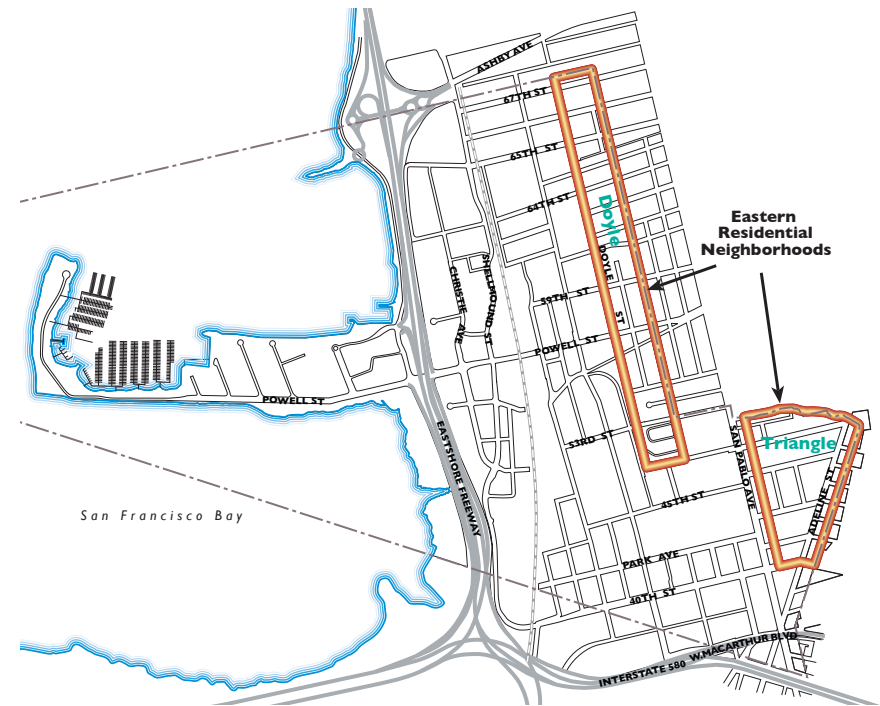
- Design homes to be generally the same height and massing of adjacent homes.
- If higher heights are permitted, step down the building height to create a transition between higher building heights and smaller neighbors.
- Use commonly found architectural features, such as bay windows and dormers.

H-10: Landscaping

Utilize bushes, trees, and planting beds to define private areas in the front and rear yards.

H-11: Parking

Parking should be located where it has the least visual and physical impact on the street. Employ architectural features, such as bay window projections, over garages to reduce their appearance and provide visual interest.



Pedestrian Priority Zones

Although the entire city should be amenable to and safe for pedestrians, the Pedestrian Priority Zones highlight areas where pedestrian safety and movement are the top priority. These zones include busy activity centers, such as transit stations, neighborhood centers, schools, and City Hall.

H-12: Pedestrian Priority Zones

Design Pedestrian Priority Zones to provide focus to the neighborhoods, and promote them as activity areas. These zones are characterized by:

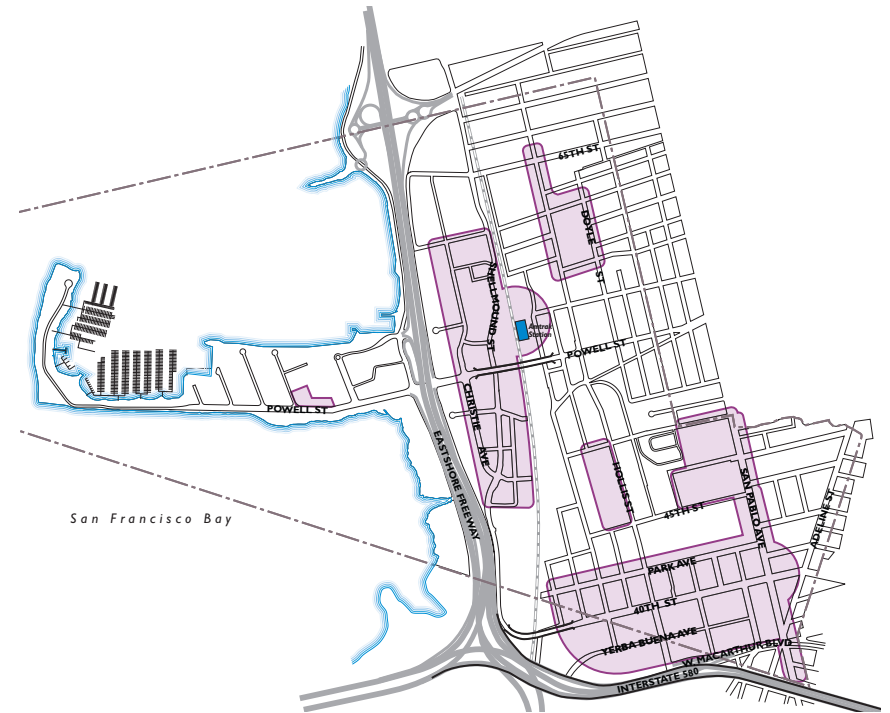
- Wide sidewalk corridors
- Outdoor café and restaurant seating, where sidewalk width permits.
- Consistent street tree species, employing Bay-Friendly Landscaping practices, and that provide appropriate shade.
- Consistent street furnishings, lighting fixtures, and landscaping.
- Curb bulb-outs at intersections.
- Places for public art.

H-13: Active Uses

Whenever possible, locate retail, restaurants, and other active uses at the ground level to provide activity and pedestrian interest.

H-14: Parking Structures

In Pedestrian Priority Zones ground floor parking structures should not face the street.



Gateways

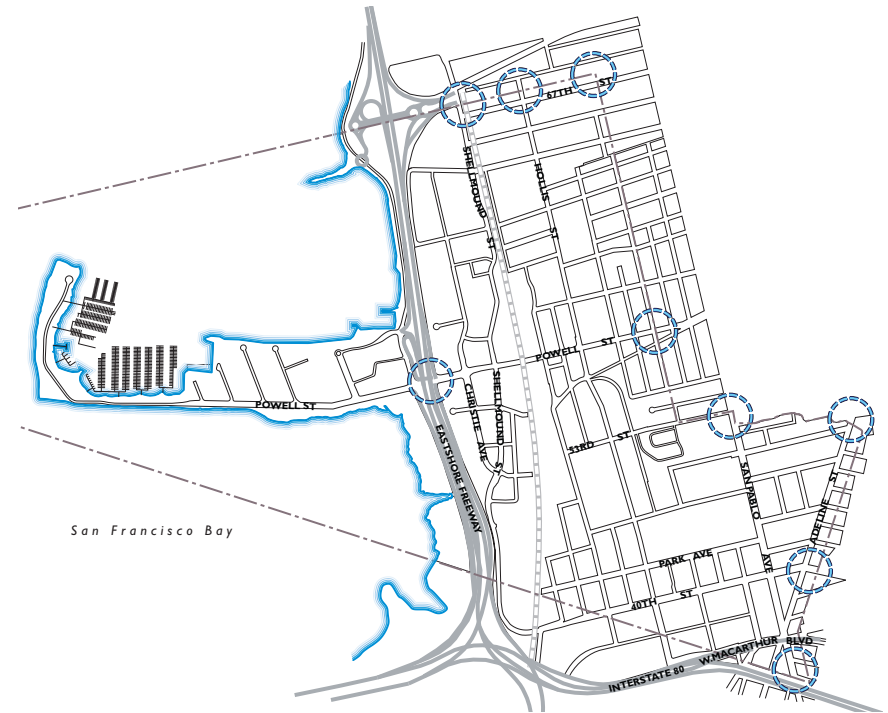
Gateways denote key entrances to the city where specially designed landmark elements should be focused. There are nine gateway entrances to the city.

1. Powell Street at the off-ramp from I-80
2. Shellmound Street near Ashby Avenue
3. Hollis Street north of 67th Street
4. Greenway north of 67th Street
5. Powell Street at Vallejo Street
6. San Pablo Avenue and 53rd Street
7. Adeline Street north of 47th Street
8. 40th Street east of Adeline Street
9. San Pablo Avenue and 36th Street

H-15: Unique Design

Gateway features should be unique in design, visible to both motorists and pedestrians, and emblematic of the city's cultural and historic identity as well as its role within the region.

- Create visual gateways through streetscape design, public art, signage, landscaping, lighting, and pavers to create a sense of entry and city character.
- Emphasize building corners at site entries with vertical architectural elements and massing to create a balanced and well-defined physical gateway.



Greenways And Green Streets

Greenways and green streets are envisioned as landscaped green oases, offering opportunities for strolling, lingering, sitting, and jogging, while providing environmental benefits such as stormwater treatment.

- Greenways are on- and off-street linear parks—intended for transportation, active recreation, and passive contemplation—containing pedestrian and bicycle paths, small gathering places, and recreational facilities. Two greenways will traverse the city, one north-south and the other east-west.
- Green Streets are designed to improve connectivity between neighborhoods, parks, employment and other activity centers, and to increase the provision of open spaces. This network builds on the greenways to improve connectivity along key streets while using pervious surfaces and vegetation for additional stormwater treatment.

H-16: Entrances

Building and unit entrances (though not necessarily primary entrances) should front the public pathway.

H-17: Ground Floor

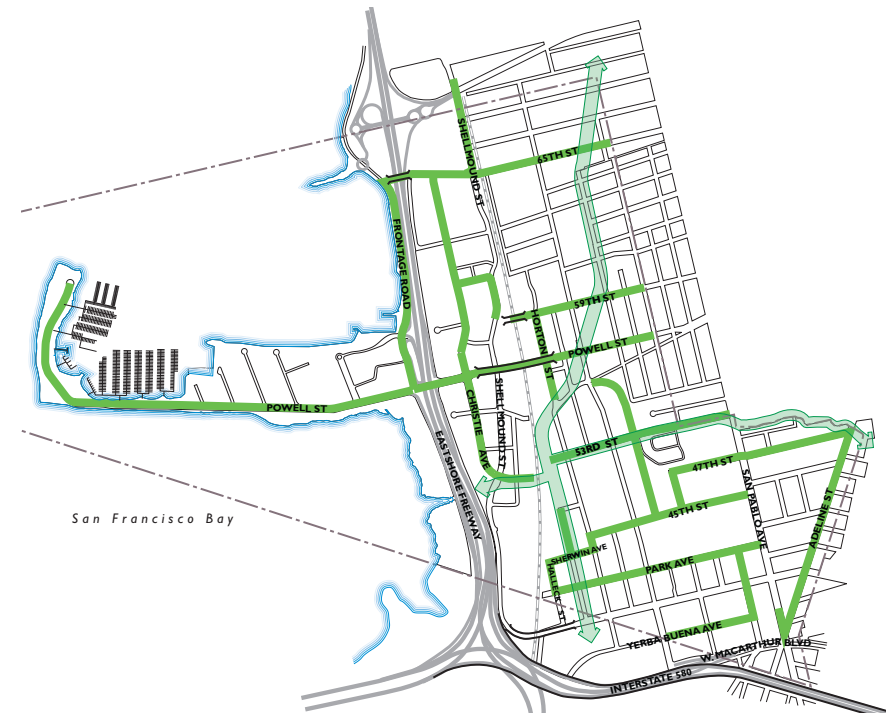
Public-oriented uses should be located at the ground level (e.g. workshops, lobbies, and common areas).

H-18: Landscaping

Street trees and landscaping designs should employ Bay-Friendly Landscaping practices.

H-19: Design to Support the Life of the Street

Residential developments located on a greenway are encouraged to include stairs, stoops, or other architectural features that contribute to the pedestrian realm.



H-20: Open Spaces

Parks or plazas located along greenways and/or green streets should allow for places to linger, sit, and contemplate. Consider using special pavers and other markers to enhance the open space.

H-21: Greenways

Site buildings and design pathways to allow for sunlight on greenways and green streets.

H-22: Daylight Temescal Creek

Temescal Creek (flowing in a culvert under 53rd Street) should be represented with a creek feature at the surface.

H-23: Bicycle and Pedestrian Design

Appropriate crossings should be provided for bikes and pedestrians.

Transit Hubs

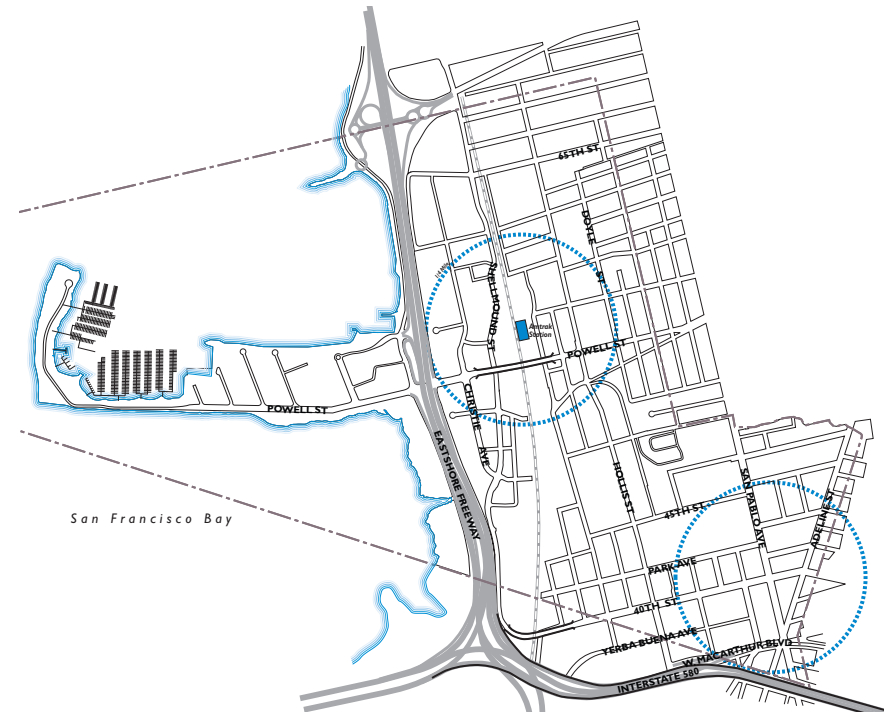
Transit hubs are transfer points where high volume transit lines intersect. Two 1/4-mile radius hubs have been identified in Emeryville: at the Amtrak station and at 40th Street and San Pablo Avenue, where several AC Transit buses and the Emery Go-Round intersect.

H-24: Access to Transit

Orient building entrances to provide convenient access to transit.

H-25: Transit Oriented Conveniences

Locate active uses, such as retail and restaurants, so that they are visibly accessible to transit users embarking or disembarking trains and buses, and accessing parking facilities.



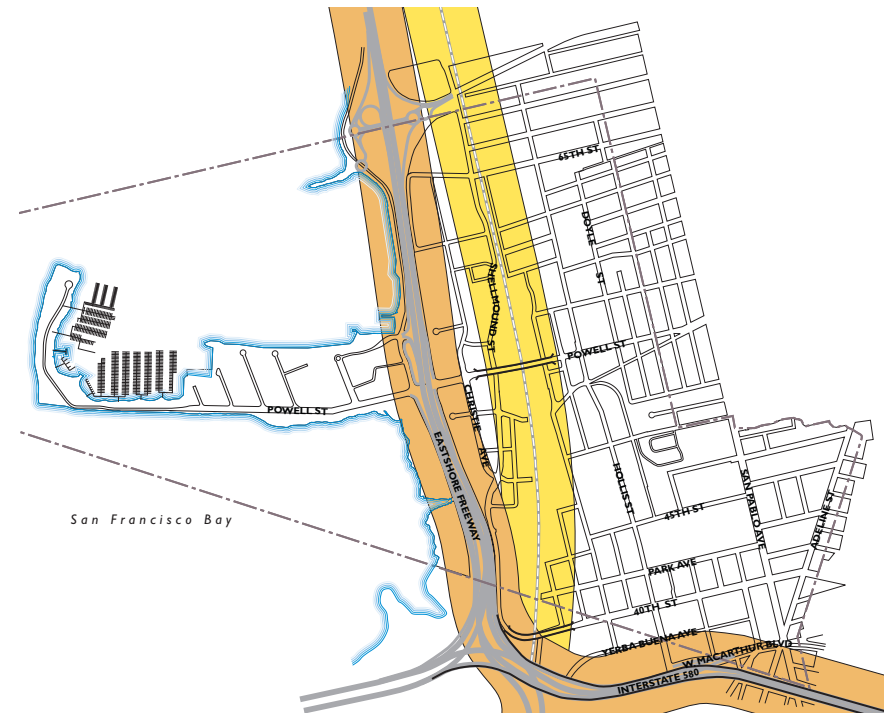
Freeway/Railway Adjacent

With Emeryville's exceptional accessibility to freeways and the railway line come potential impacts, specifically: noise, air pollutants, obstructed views, and disruption to vehicle and pedestrian mobility. Careful site planning and building design can help reduce these impacts.

H-26: Residential Uses

Residential development directly adjacent to a freeway or railway should consider the following:

- Set back buildings from the freeway and buffer with landscaping, open space, and/or off-street parking to provide a visual barrier to the freeway or railway.
- Consider screening from the freeway in the selection and location of planting materials.
- Locate residential units higher than the freeway to avoid obstructed views and air pollutants.
- Offer appropriate level of sound/vibration insulation in windows and walls. Façades should be constructed with substantial weight and insulation. Construct exterior walls with soundboard under layer or resilient layer.
- Use double doors and/or solid core doors with perimeter weather stripping and threshold seals.
- Limit glass in windows facing the noise source to reduce impacts. Windows should include screens to reduce dust and particulate from entering open windows.
- Mechanically ventilate units that directly face the freeway or provide comfortable temperatures and noise attenuation through some other means, so that residents can leave windows closed, maintain adequate heating and cooling, and ensure good air quality.





Guidelines I-1 and I-2: *The Intersection mixed-use project at 3800 San Pablo Avenue includes the renovation and reuse of an existing one-story building designated as Significant (number 83 in Table 9-5.1210: Significant Structures in the Planning Regulations) and a new seven-story, 104-unit residential building. The design locates street level windows and prioritizes ground floor active uses. (Photo by Lowney Architecture)*

4 BUILDING GUIDELINES

I. BUILDING AND USE TYPES

These guidelines articulate unique principles for specific building types and land uses.

Mixed-Use Developments

For retail uses in Regional and Neighborhood Retail Overlay areas, see Section I: Area Specific Guidelines.

I-1: Ground Floor Active Uses

Where possible, prioritize active uses on the ground-level.

I-2: Street Level Windows

Windows should be designed to highlight the uses within, such as storefront windows at the street level.

General Plan Guiding Principle #8. A balance of regional and local amenities. Given its location, Emeryville will remain a regional destination. However, the City will balance retail uses that draw visitors from throughout the region, with stores and amenities that serve neighborhood needs, while ensuring fiscal health and a sustainable economy. The General Plan emphasizes development of pedestrian-oriented and scaled (rather than auto-oriented) districts and policies to ensure that development provides benefit for the local community, and that small, often local, businesses are viable.



Guidelines I-1 and I-2: The ground floor of the Courtyards at 65th Street include a cafe and restaurant and windows along the street level on public streets.

Residential Building Design

I-3: Diverse Housing Design

Design housing to support a range of household types, incomes, and sizes.

I-4: Human-Scale Design

Incorporate architectural features and materials that assure high-quality, human-scale, distinctive design that is comfortable and attractive to residents.

I-5: Building Modulation

Provide visual interest and improve quality of life for inhabitants through the use of porches, recessed windows, bay windows, and balconies.

I-6: Street Oriented Residential Entrances

Arrange parking, pedestrian circulation, and building entrances so that residents and visitors are encouraged to access residential units from a street or greenway.

I-7: Safety and Security

Consider additional lighting, changes in plane, and other security measures to ensure safety and security. Avoid using bars or security grills on windows and doors.

I-8: Multi-Unit Corridors

Define unit entries. Set back corridor walls, provide additional lighting, and raise corridor ceilings at unit entries.

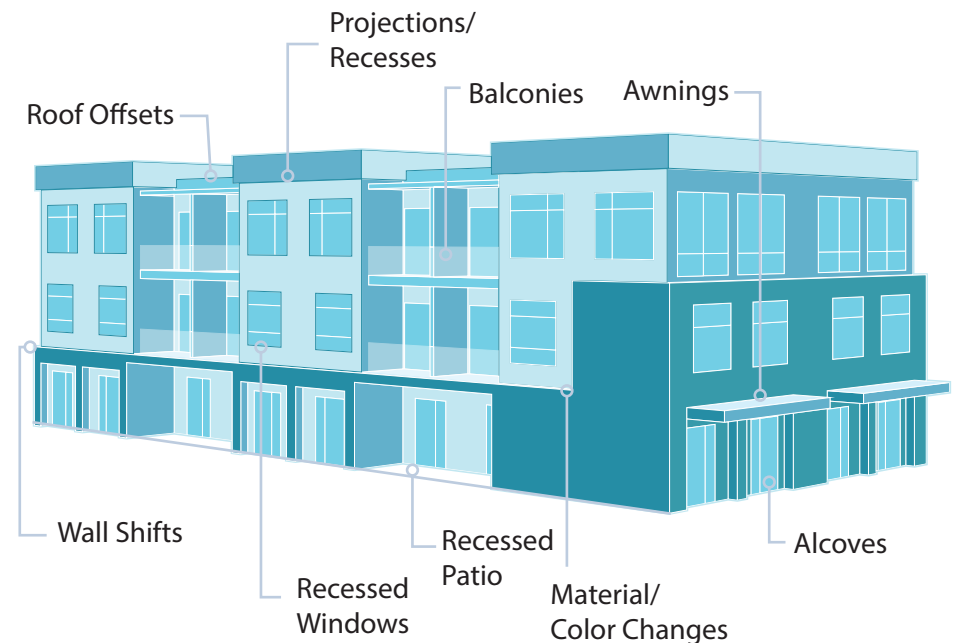
I-9: Visual Privacy

Provide visual privacy between units. Where units face each other across a narrow distance, windows should be offset.

I-10: Access to Common Open Space

Provide efficient access from units to exterior common open space, and visual connections from units, interior hallways, and stairs to exterior space.

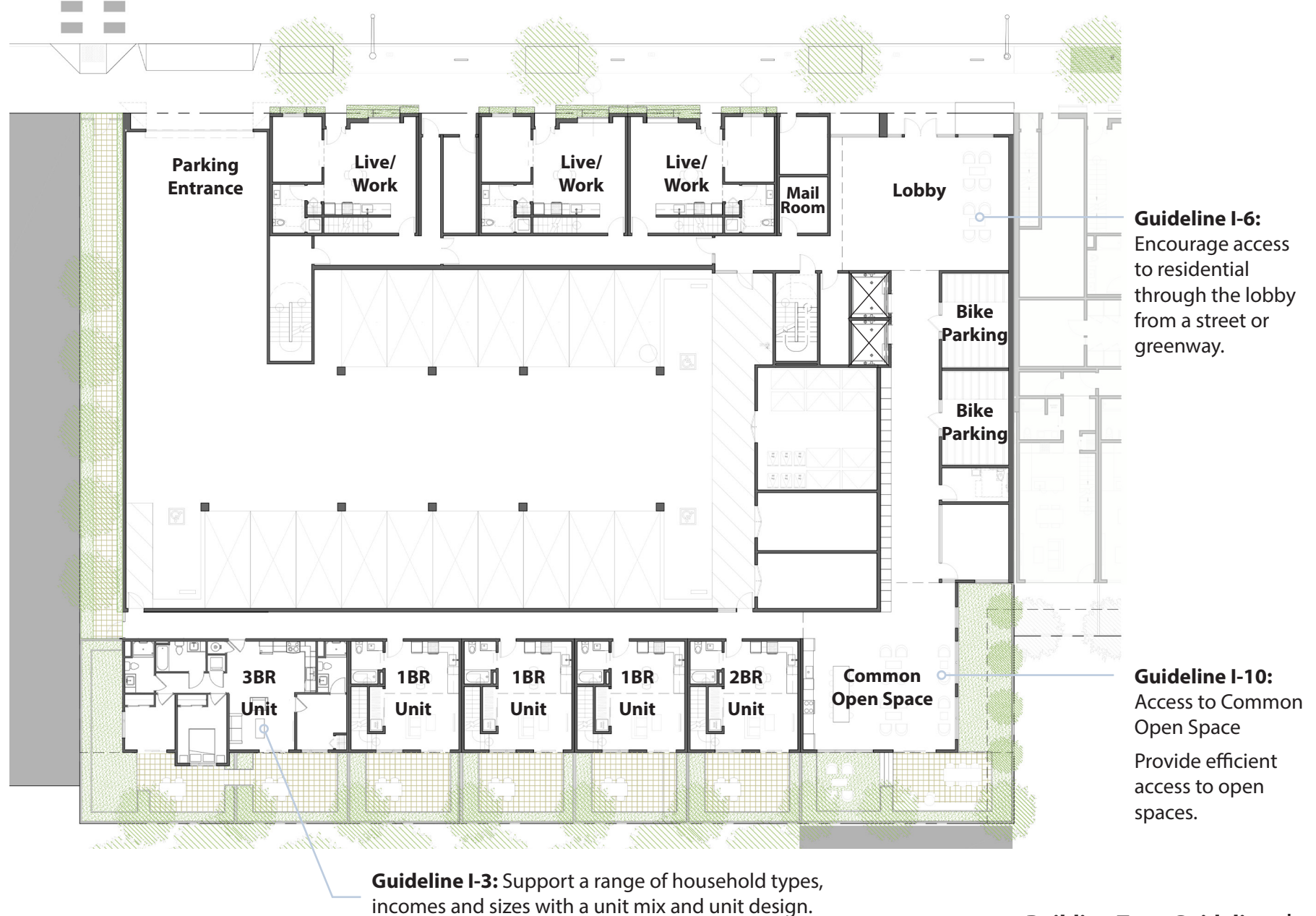
Figure 4-1 Building Modulation



Guideline I-5: Building Modulation. Figure 4-1 provides some examples of building modulation that provide visual interest to the mass of the building.

Figure 4-2 Ground Floor Uses

Primary Street Frontage



Residential Unit Design

I-11: Design for Natural Ventilation and Daylight

Maximize ventilation and sunlight by providing multiple exposures and shallow unit depths as much as possible.

I-12: Views and Natural Light

Take advantage of views and natural light, particularly for living areas, by providing large areas of glazing looking onto streets, yards, or other exterior spaces. Provide shading on south and west exposures. Place windows along common corridors to provide a sense of direction while in the building.

I-13: Residential Unit Privacy

Maintain a sense of privacy from within housing units, while allowing views onto streets and interior courtyards.

I-14: Kitchen Ventilation

Kitchens should be well ventilated with windows providing cross ventilation when feasible.

I-15: Kitchen Cabinets

If feasible, kitchen cabinets should extend to the ceiling.

Family Friendly Design

See also Planning Regulations 9-5.2004 Residential and Family Friendly Design for more on Family Friendly Design.

I-16: Play Areas

Provide ample exterior play and gathering areas that are safe and visible from communal spaces in homes, with a variety of age-appropriate amenities.

I-17: Bathrooms

For residential units with one bathroom, provide two sinks.

I-18: Kitchens

When possible, orient kitchen sinks so that someone at the sink can face common areas within the unit.

Retail

For retail uses in Regional and Neighborhood Retail Overlay areas, see Section H: Area Specific Guidelines.

I-19: Articulate Building Façades

Articulate building façades with a combination of windows, entries and bays. Opaque roll-down doors that cover storefronts are strongly discouraged.

I-20: Individual Storefronts

Define individual storefronts, in keeping with pedestrian scale and character. Variations in façades at the ground level, such as shallow recesses at entries, are encouraged, to create the appearance of more divisions between uses, rather than a single, large and monotonous building.

I-21: Large Retail Design

Where large retail establishments are constructed, ensure that they are of quality design and pedestrian-oriented:

- Consider a continuous arcade along the front façade and/or a small plaza to visually define store entries.
- Screen and integrate loading, storage, and equipment areas into the design of the building.

Civic and Public Buildings

I-22: Prominent Entrance

Define public buildings with a prominent entrance, through architectural and landscape features, such as tower elements, canopies, columns, recesses, plazas, public art, and landscaped open space.



Top: **Guideline I-20:** Define individual storefronts at the ground level with recesses and varied materials and color, like these storefronts on Bay Street.

Bottom: **Guideline I-21:** This large retail frontage at East Bay Bridge Center includes a continuous arcade along its front façade and provides landscaping and places to sit.



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