

APPROVED

JUL 23 2015

City of Emeryville
Planning Department

Avalon Public Market –
Shellmound Residential Building (Parcel A)

Final Development Plan Submission

15-0714

PROJECT TEAM

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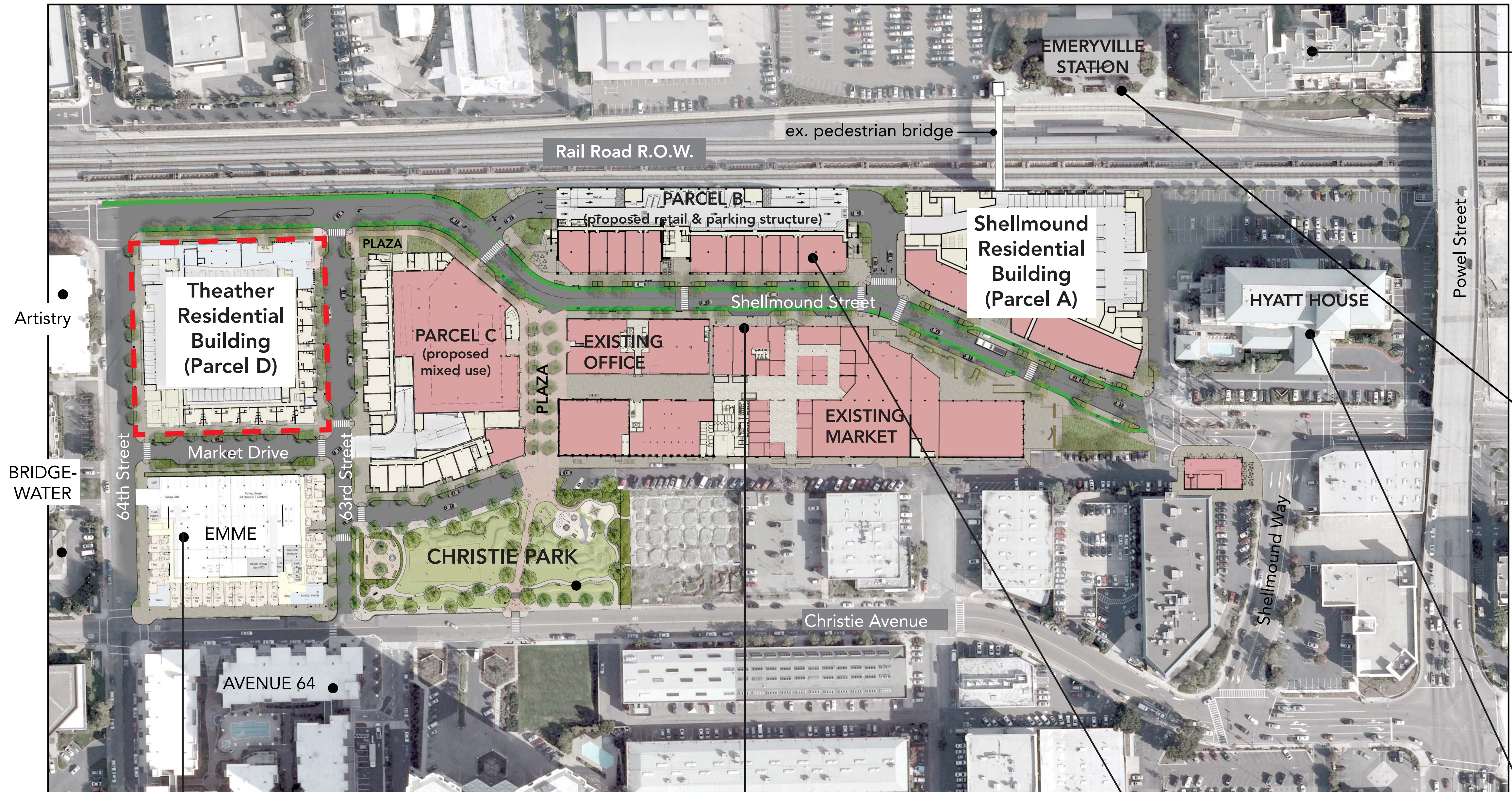
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C4 PRELIMINARY GRADING PLAN
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Terraces Condo



Emeryville Train Station



Hyatt House



EMME Apartment (under construction)



Public Market Emeryville



Parcel B - Proposed Retail Frontage

DEVELOPMENT SUMMARY

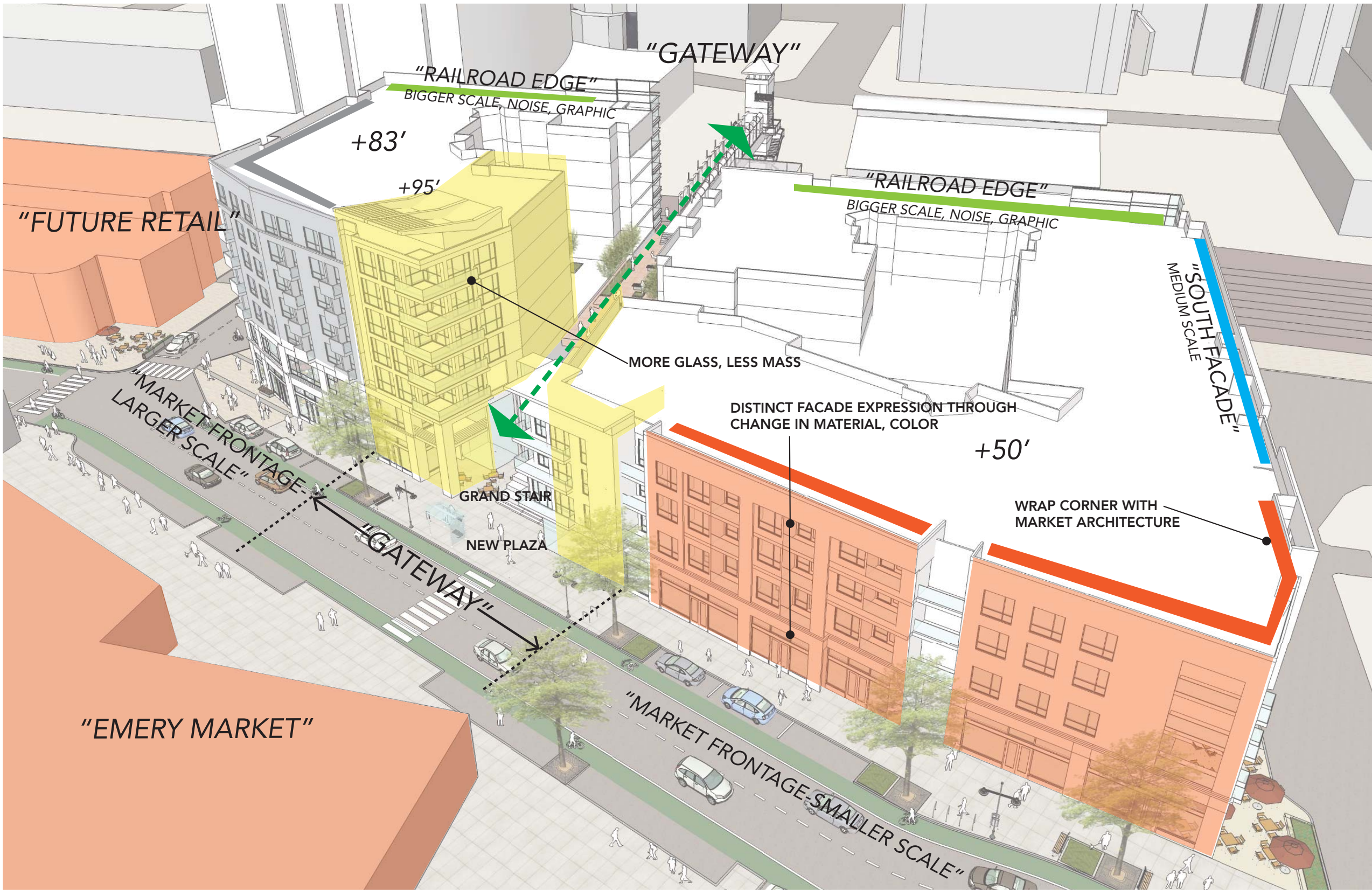
NUMBER OF UNITS	167	
Studios	29	17.4%
One Bedroom	52	31.1%
Two Bedroom	69	41.3%
Three Bedroom	17	10.2%

3-LEVEL TYPE V AND 5-LEVEL TYPE III WOOD OVER
2-LEVEL TYPE I PODIUM

TOTAL RENTABLE SF 148,861 sf

AVERAGE SF PER UNIT 891 sf

PARKING SPACES	223
Car Spaces	222
Motorcycle Spaces	7



DESIGN NARRATIVE

“Gateway”

The centerpiece of the plan is the Bridge Walk, a public way that connects the existing pedestrian bridge to the heart of the Public Market retail district via a pedestrian way and grand stair. The building massing highlights this by bracketing the path. Along Shellmound this is done via related gestures- a “tower element” to the north, and the main building entry to the south. At the east frontage, a vertical stair tower and change in materials bracket the beginning of the procession down to the Market.

“Multiple Buildings”

In addition to the Gateway gesture, related but distinct massing and façade rhythms were developed along the Shellmound frontage. Through variation in height, materials , window patterning, and base details, the development is broken down into smaller pieces, building on the existing market buildings scale, and speaking to traditional urban “main street” developments built over time.

“Distinct Edges”

Parcel A has many distinct edges that the building responds to in mass, material, and fenestration. In addition to the aforementioned mixed-use frontage along Shellmound and at the north elevation, the south façade transitions from the retail frontage to a residential only building through material change and a smaller scale façade broken up by recessed balconies. Finally, the east facing façade facing the rail tracks has a larger scale, with bigger gestures such as the Market Sign and stair beacons that reflect not just the program uses along this edge, but the façade’s function as a portal to the heart of the Market.

PROJECT SUMMARY

SITE INFORMATION

Site Information				
Site Area (sf)	87,912			
Site Area (ac)	2.02			
Total Number of Units	167			
Density	82.75			

PLANNING CODE SUMMARY

Note: Property is part of , and subject to, the Marketplace PDP, approved by the City of Emeryville in 2008	
Density	
Units / Acre Allowable	N/A per Marketplace PDP
Proposed	167 units
Height Limit	
Maximum Allowable at Parcel A	175' per Marketplace PDP north of bridge walk 50' per Marketplace PDP south of bridge walk
Max. height Proposed	83 feet
Projections beyond ht. limit	5' max. parapet, additional projections such as penthouses, stairs up to 25' above roof
Setbacks	
Front	None Required
Side	N/A
Rear	N/A
Projections at Setbacks	
Eaves /Awnings/Cornices	3 feet
Patio Roofs	4 feet
Bay Windows	3 feet depth x 15 feet width
Uncovered Balconies	6 feet
Parking	
Studio and 1 Bedrm Units	1 /per unit 81 x 1= 81 spaces
2 and 3 Bedroom Units	1.5/ unit 86 x 1.5 = 129 spaces
Guest	.25/unit 167 x .25 = 42 spaces
Total Required	252 spaces
Total Provided	222 spaces
Bike Parking Required	26 spaces
Bike Parking Provided	176 spaces
Loading	
Required- Retail	(1) medium (12' x 35') spaces required
Required- Residential	(2) small (10' x 25') spaces required
Provided	(1) medium (12' x 35') spaces required (2) small (10' x 25') spaces required

BUILDING AREA SUMMARY

Area Summary	Net Resid	Circulation	Gross Resid	Retail	Amenity	Storage	Resid MEP/ Trash	Gross Building Area*	Resid Garage/ Loading	Total Bldg Area
Ground Floor		4,764		14,039	6,761	529	5,907	32,000	33,779	65,779
Second Floor	21,834	6,773	28,607		4,283	463	634	33,987	30,133	64,120
Third Floor	42,969	7,327	50,296			538	569	51,403		51,403
Fourth Floor	43,941	7,173	51,114			186	569	51,869		51,869
Fifth Floor	13,385	2,657	16,042				248	16,290		16,290
Sixth Floor	13,385	2,657	16,042				248	16,290		16,290
Seventh Floor	13,347	2,657	16,004				248	16,252		16,252
Total	148,861	34,008	182,869	14,039	11,044	1,716	8,423	218,091	63,912	282,003
Avg. Unit Size	891.38									
Total Units	167									

*Gross Building Area as defined by Emeryville Planning Code (Gross Resid plus storage, amenity, MEP, trash, etc.)

PARKING SUMMARY

Vehicle Parking Provided	222
Resident and/or Guest:	
Future Resident	3
Standard	61
Compact	16
Standard Accessible	7
Van Accessible	1
Resident Only:	
Triple Puzzle Lifts (M)	132
Car Share	2
Vehicle Parking Ratio	1.32
Motorcycle Parking	7
Bicycle Parking Provided	191
Bike Lockers	15
Double Decker - Dero Decker	146
Vertical	15
Short Term (Street)	15

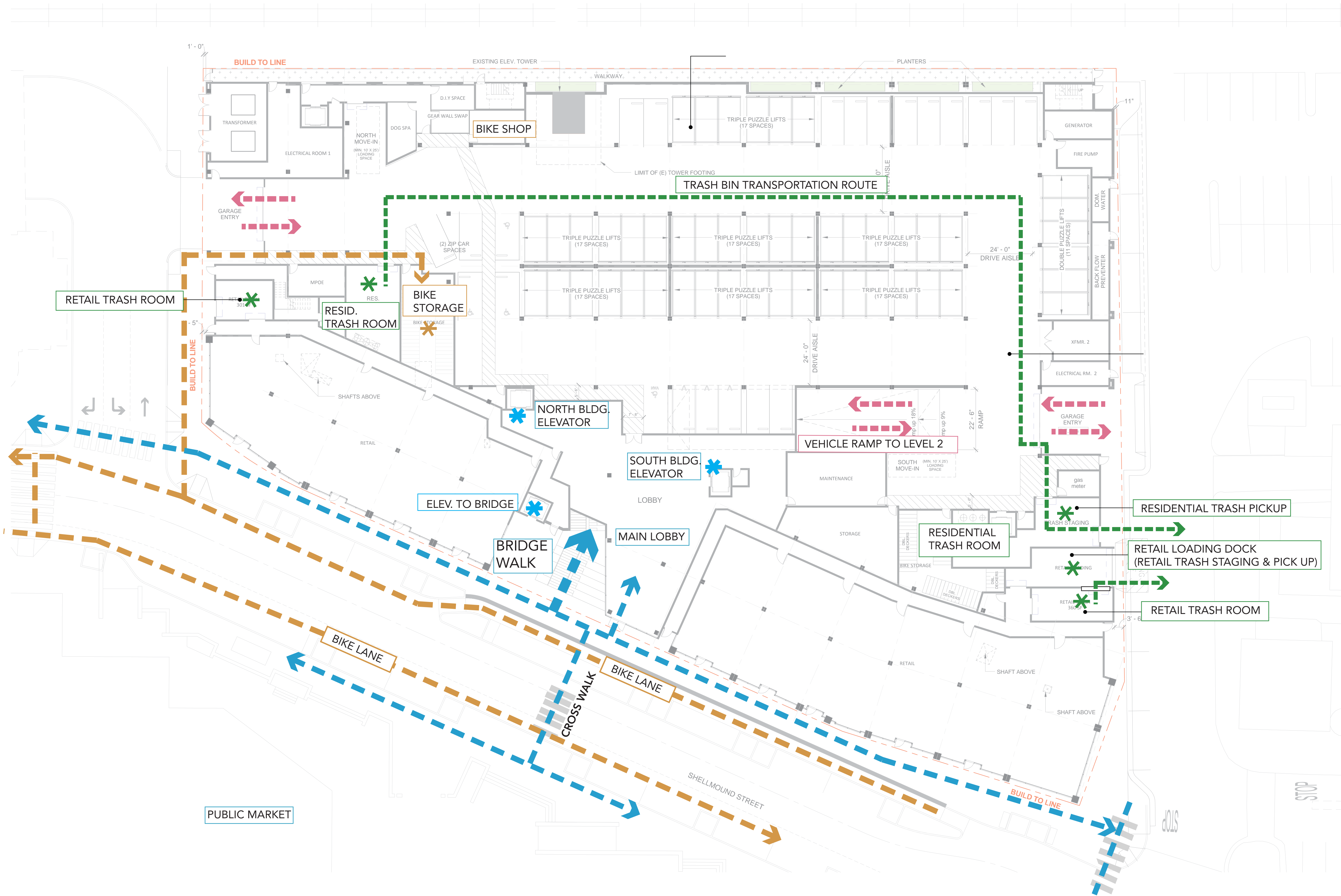
*Retail parking provided at Parcel B

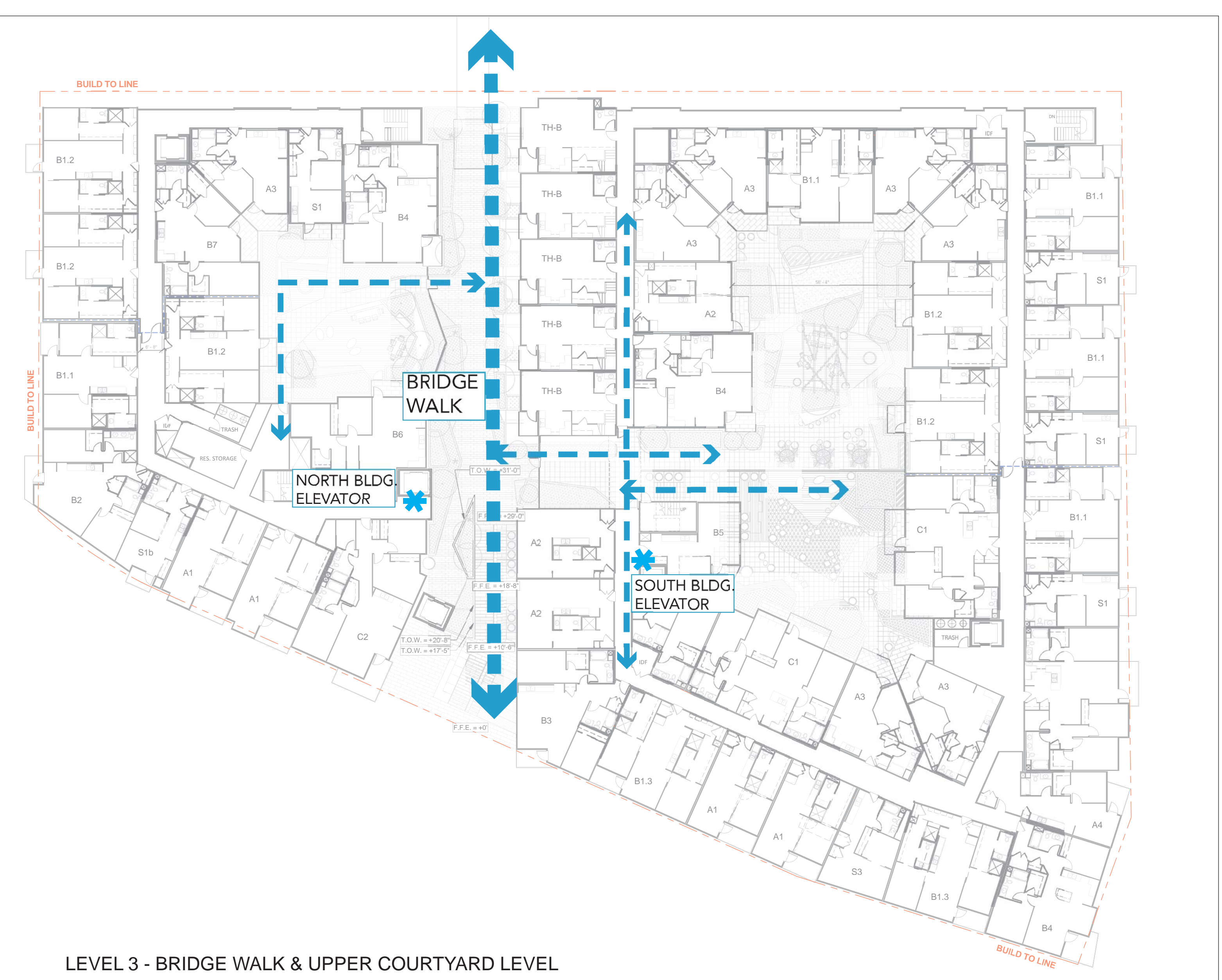
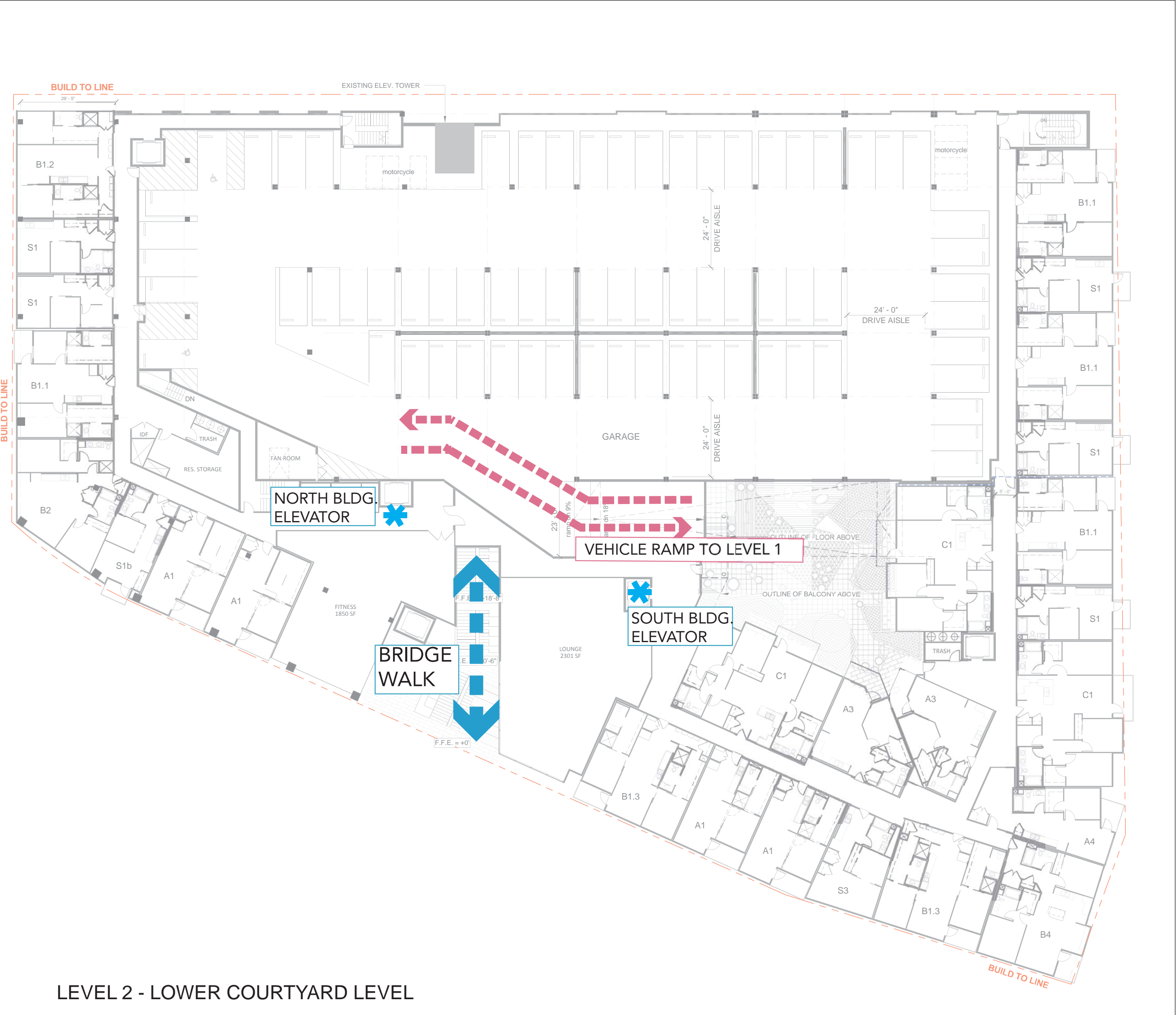
OPEN SPACE

Open Space	Private	Common
Required		
Units with balconies/patios	143 x 40 sf ea.	143 x 20 sf= 2,860 sf
Units without balcs./patios	24 x 0 sf ea.	24 x 80 sf= 1920sf
Total Common Space Required		4,780 sf
		Proposed
Public Open Space- Total		4,827
Bridge Walk- Podium Level		3874
"Grand Stair- Shellmound Plaza"		953
Secure Common Open Space		10,524
North Courtyard		2541
South Courtyard		7983
5th Floor Roof Terrace		740
Total Secure Common Open Space	5,720	11,264

UNIT SUMMARY

Site Information				
Site Area (sf)	87,912			
Site Area (ac)	2.02			
Total Number of Units	167			
Density	82.75			
Unit Information	Units	%	Size	Net Rentable
Studio	29	17.4%	536	15,552
S1.1	16		510	8,160
S1.2	6		510	3,060
S2	4		630	2,520
S3	3		604	1,812
1 Bedroom	52	31.1%	709	36,874
A1.1	10		670	6,700
A1.2	8		690	5,520
A2	9		690	6,210
A3	19		700	13,300
A4	3		767	2,301
A5	1		819	819
A6	2		1012	2,024
2 Bedroom	69	41.3%	1,053	72,668
B1.1	15		950	14,250
B1.2	6		1,036	6,216
B2	15		1,018	15,270
B3	5		1,032	5,160
B4	6		1,088	6,528
B5	10		1,090	10,900
B6	2		1,082	2,164
B7	5		1,179	5,895
TH-B	5		1,257	6,285
3 Bedroom	17	10.2%	1,224	23,767
C1	12		1,391	16,692
C2	5		1,415	7,075
Total Residential Units	167			148,861
Average Unit SF				891

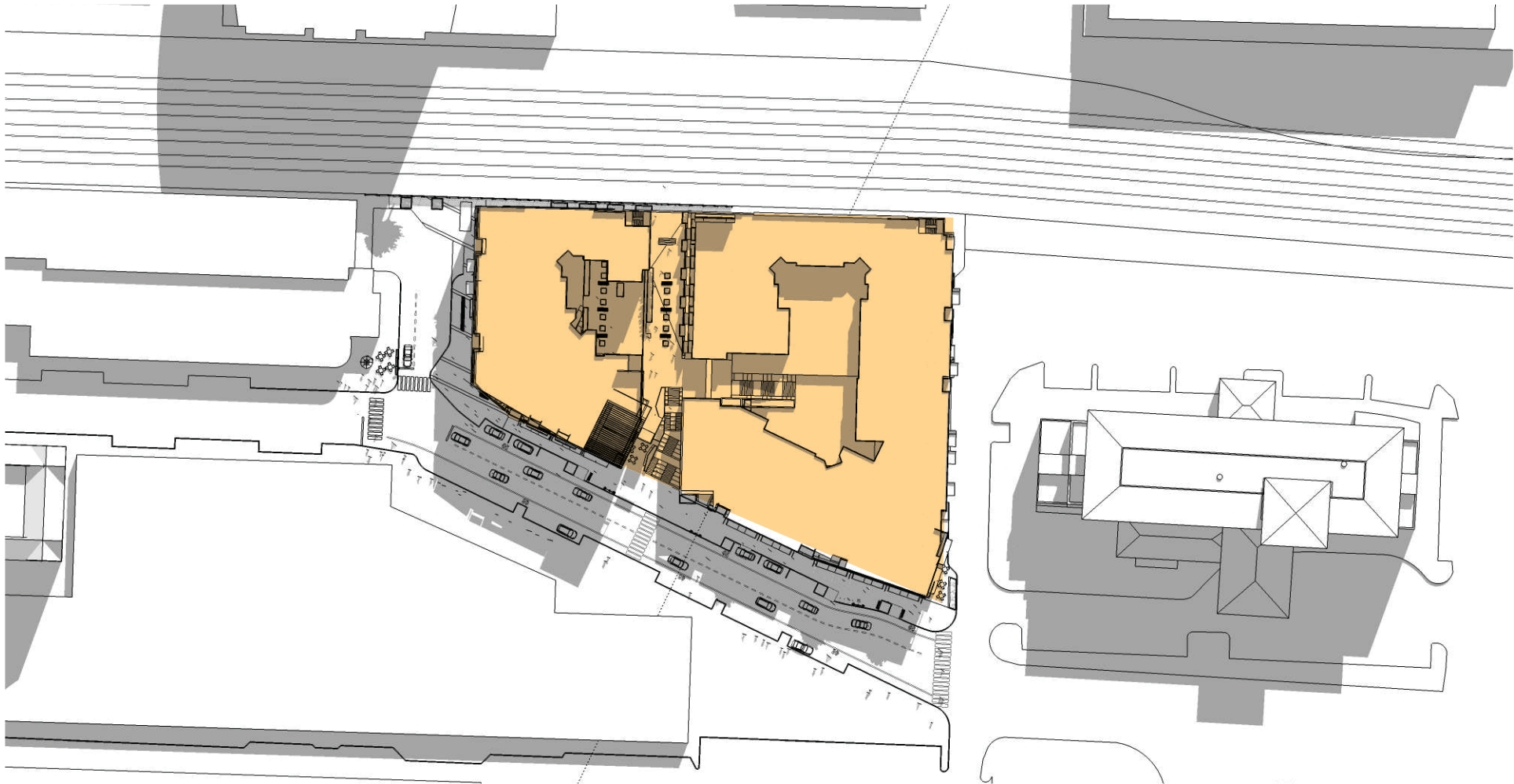




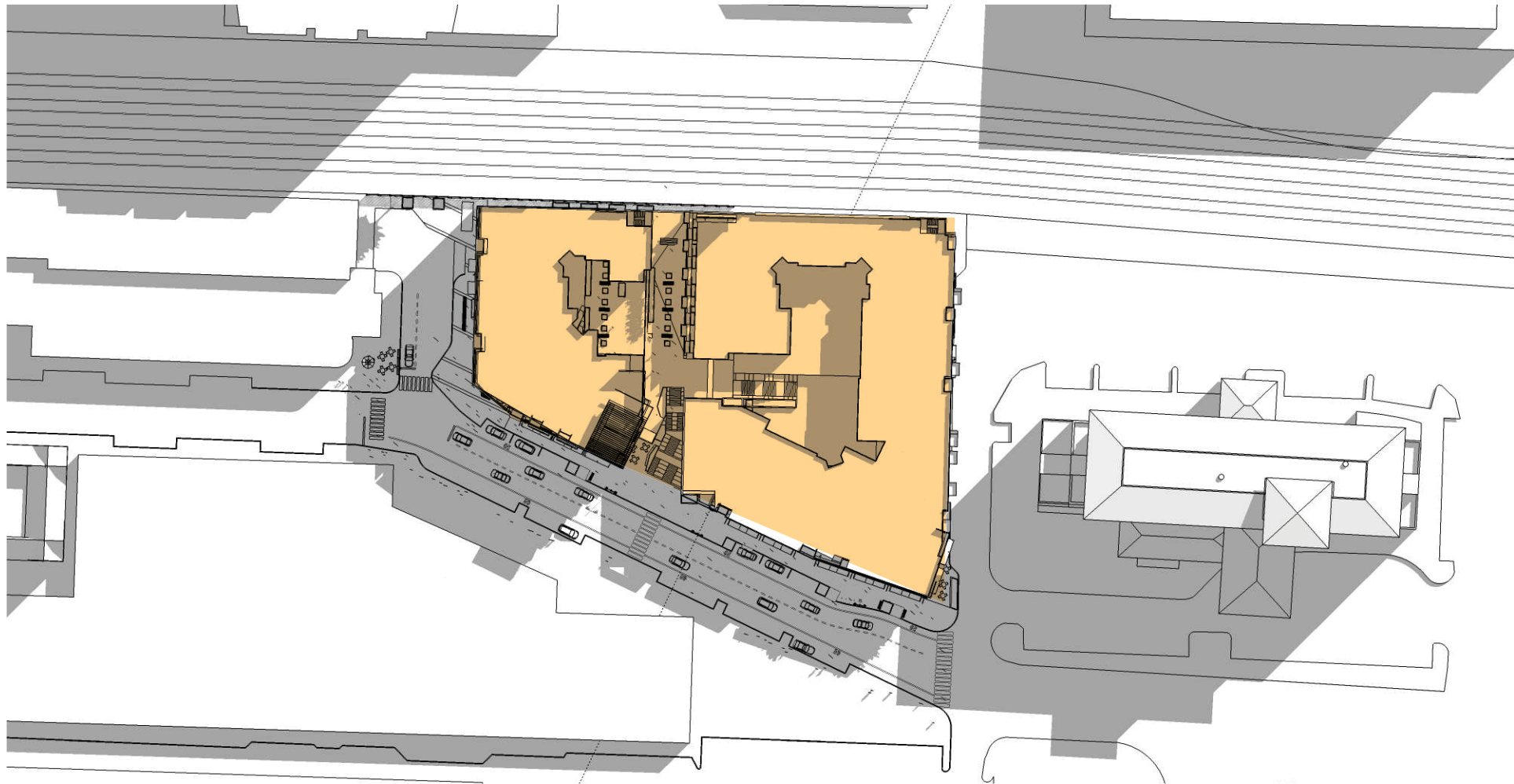
LEGEND

- PEDESTRIAN CIRCULATION ———
- BIKE CIRCULATION ———
- VEHICLE CIRCULATION ———
- SERVICE/ TRASH ———

June - 21st: 9:00 AM



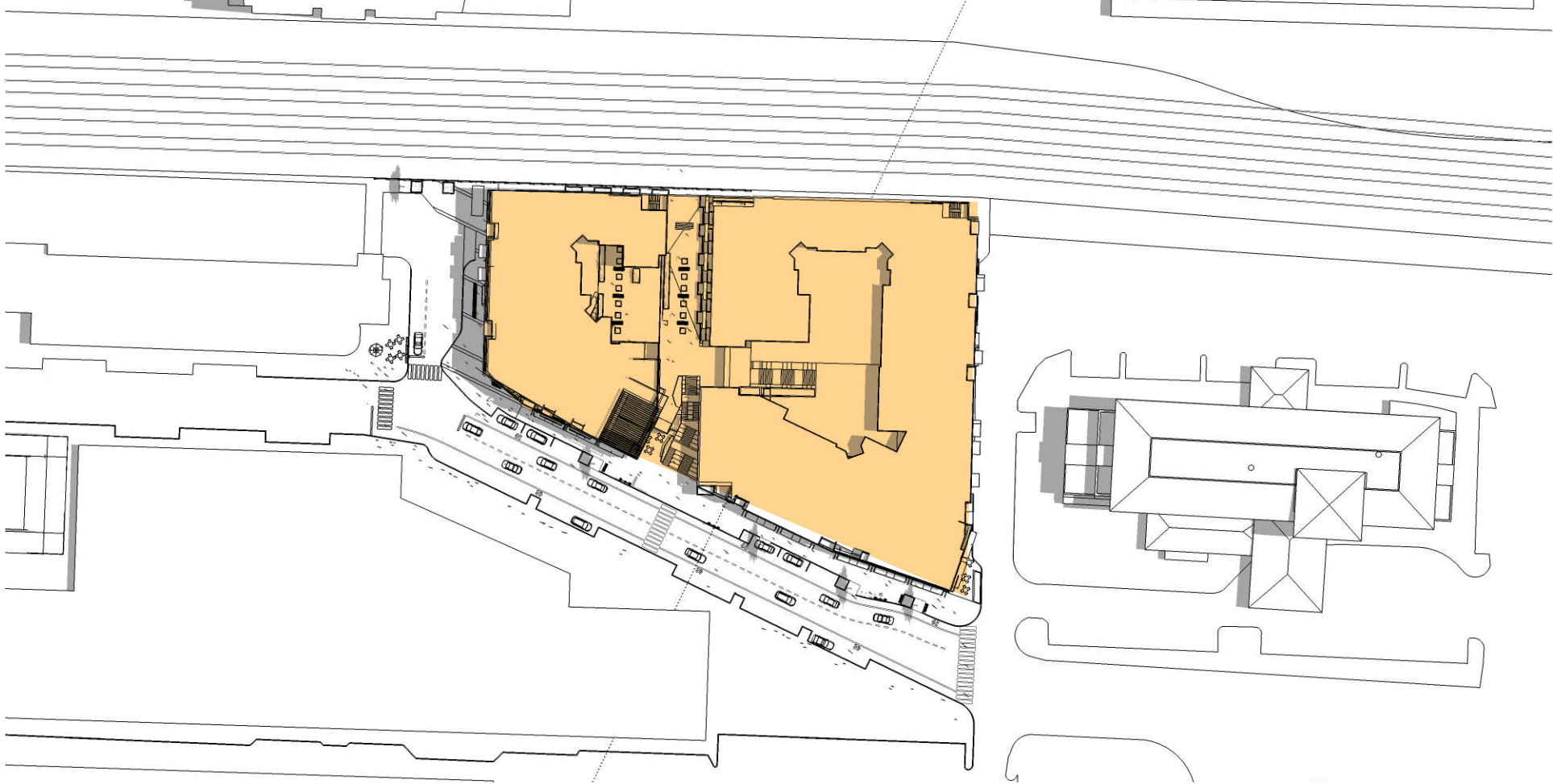
September - 21st: 9:00 AM



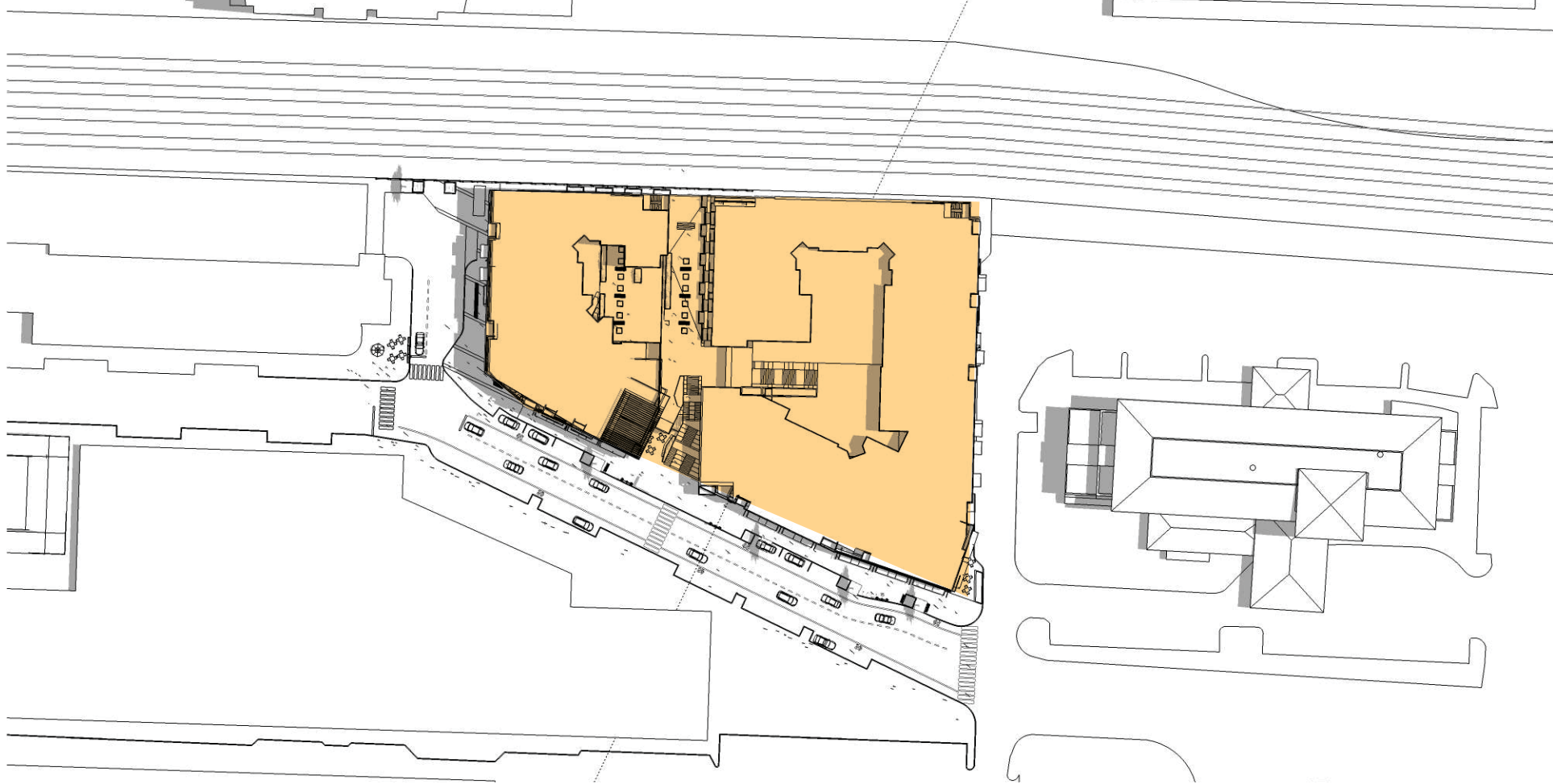
December - 21st: 9:00 AM



June - 21st: Noon



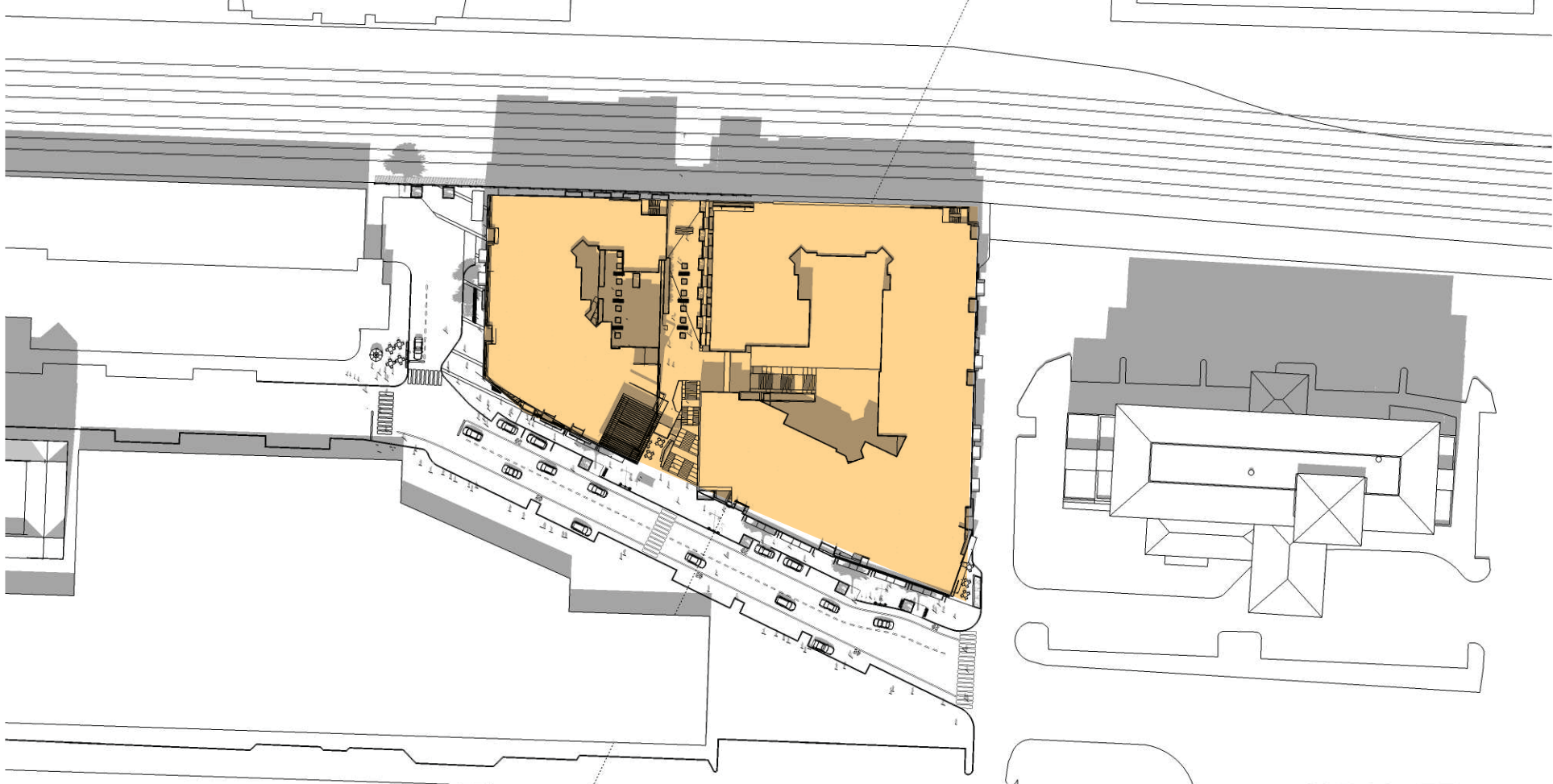
September - 21st: Noon



December - 21st: Noon



June - 21st: 3:00 PM

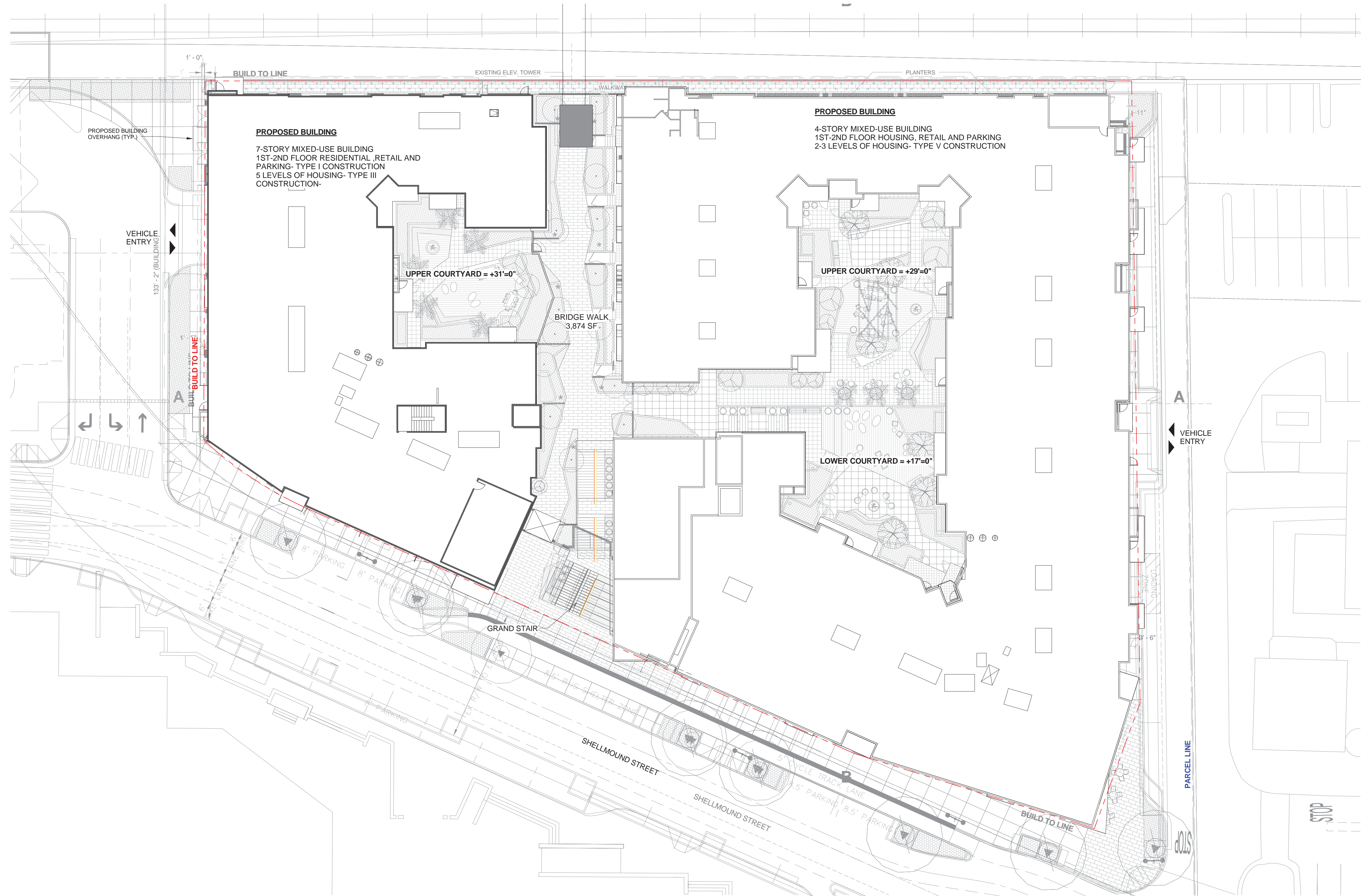


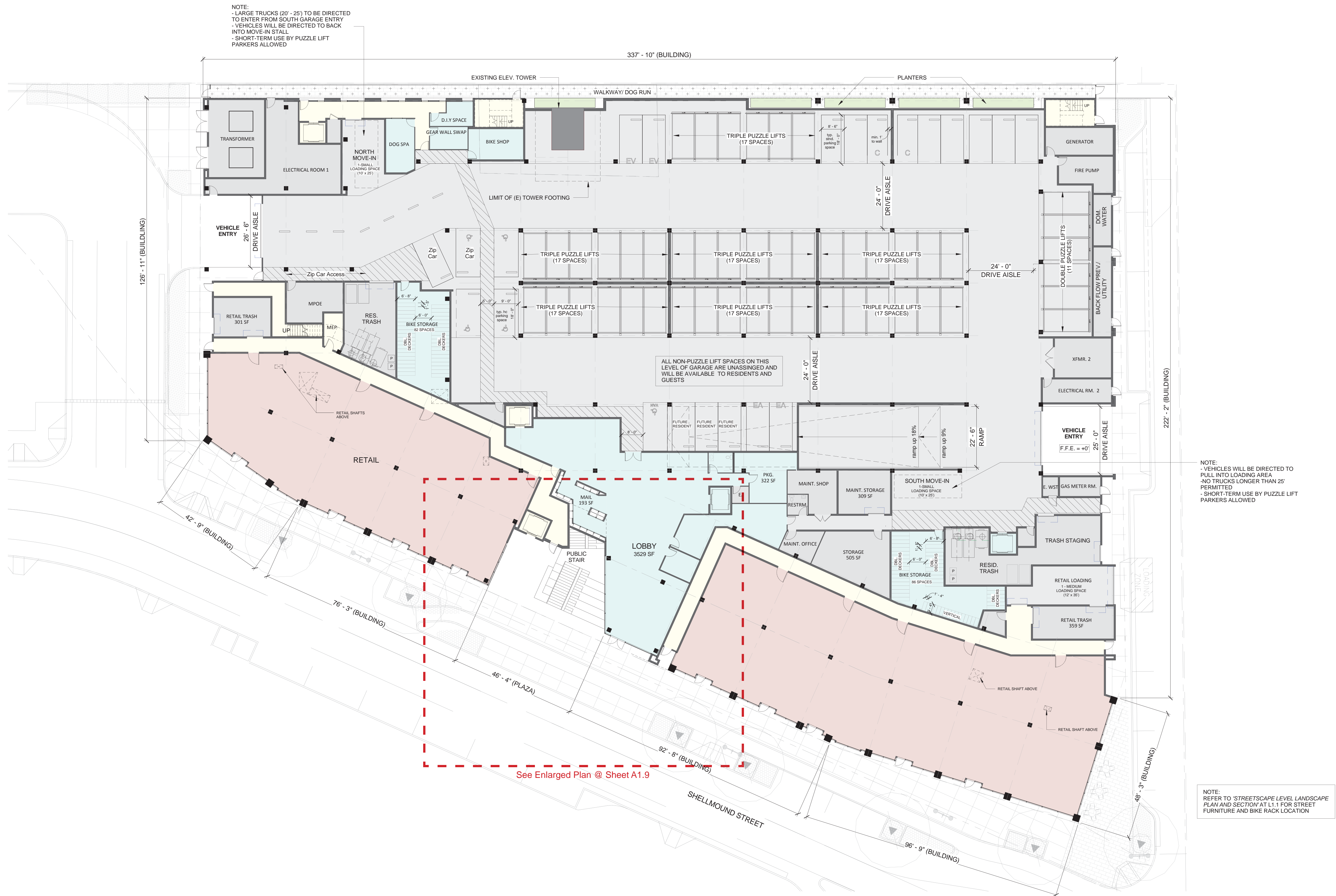
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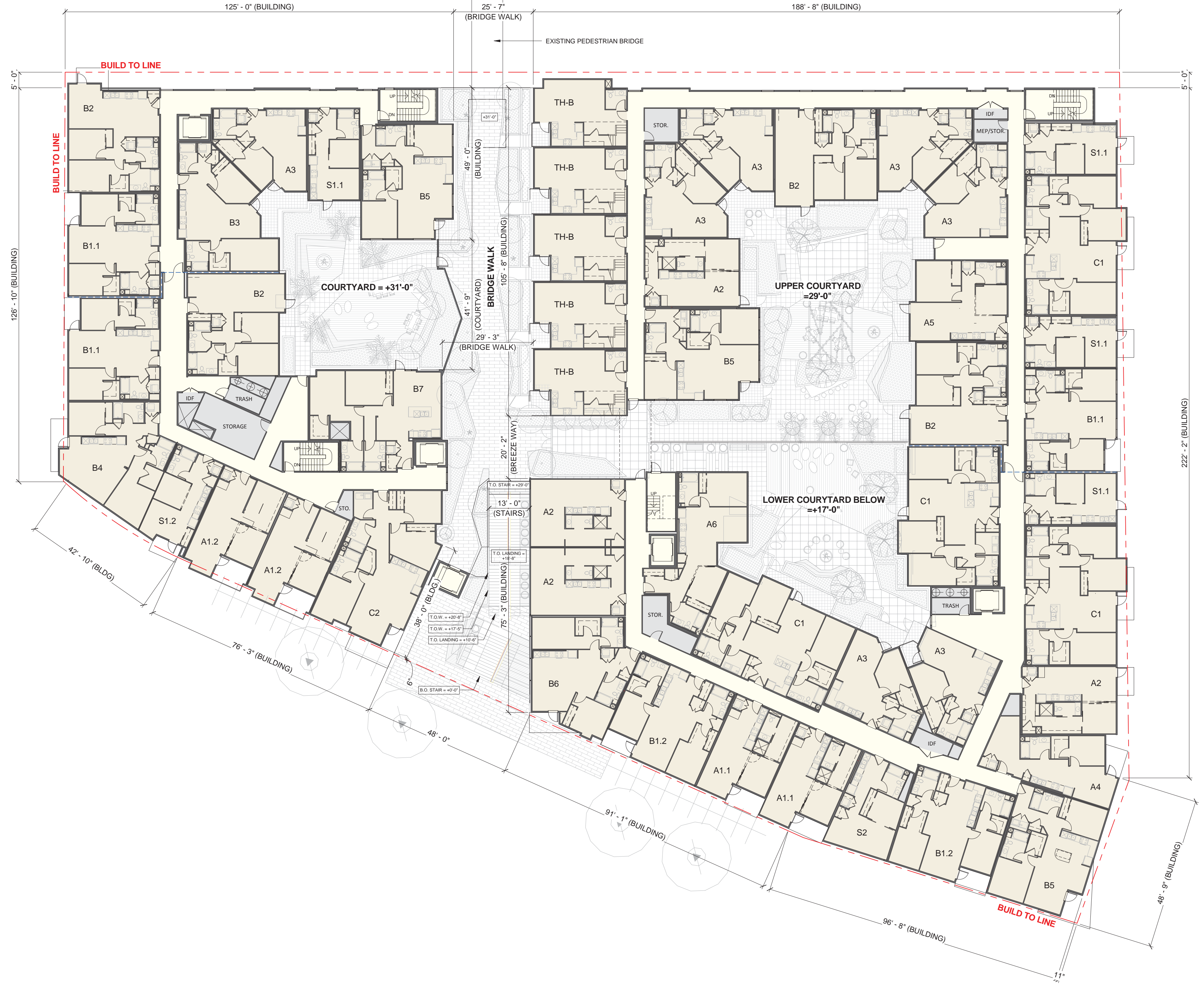
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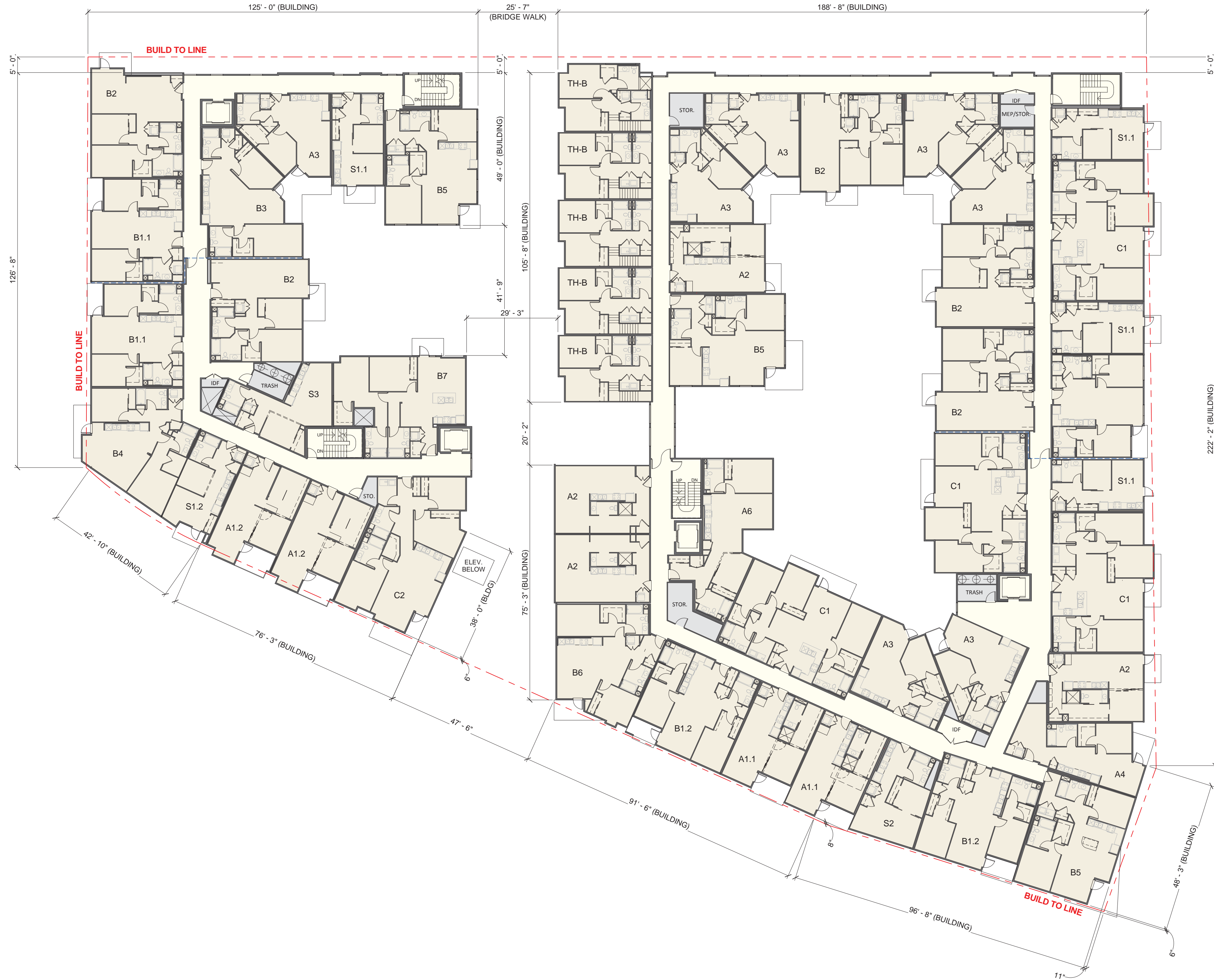




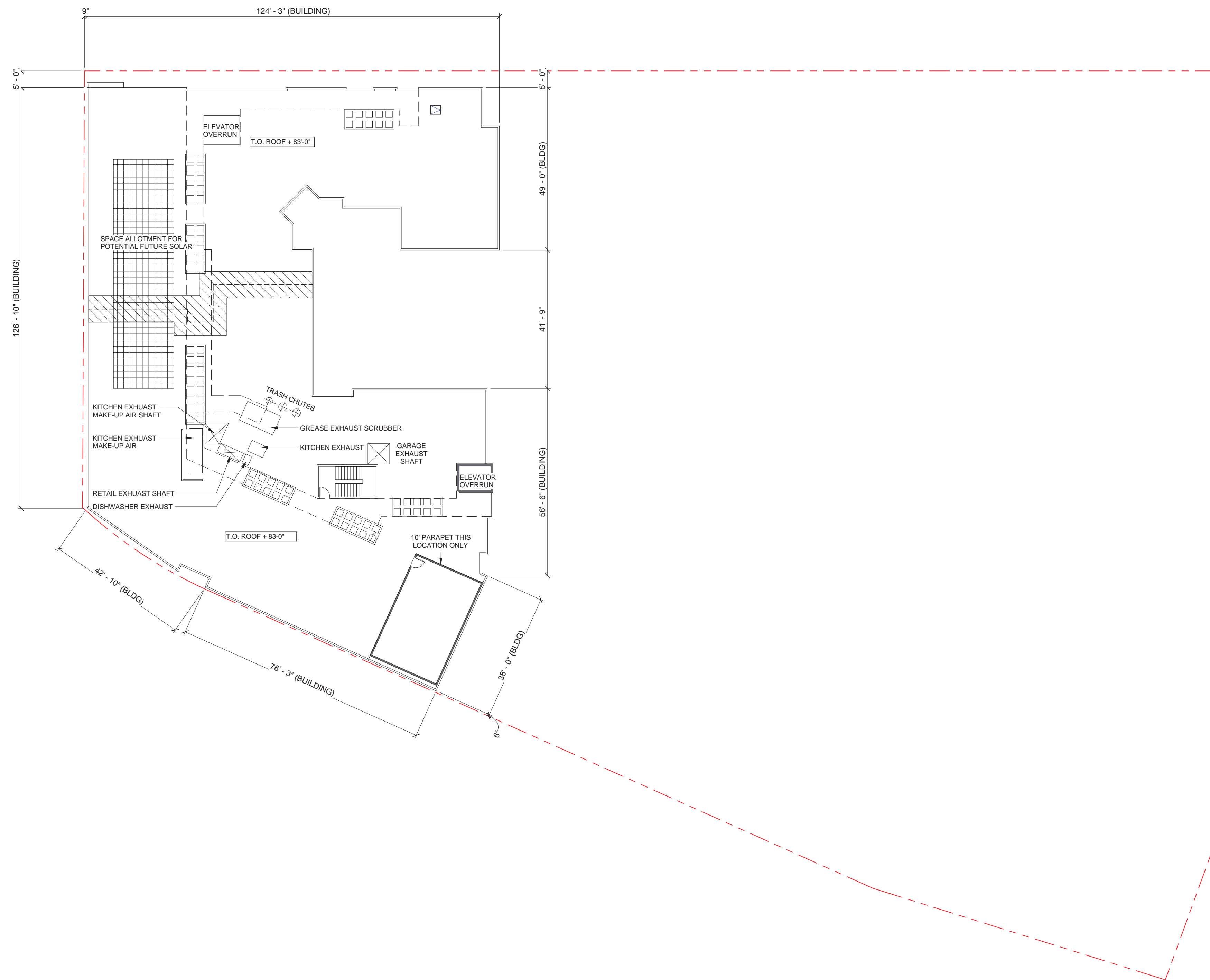


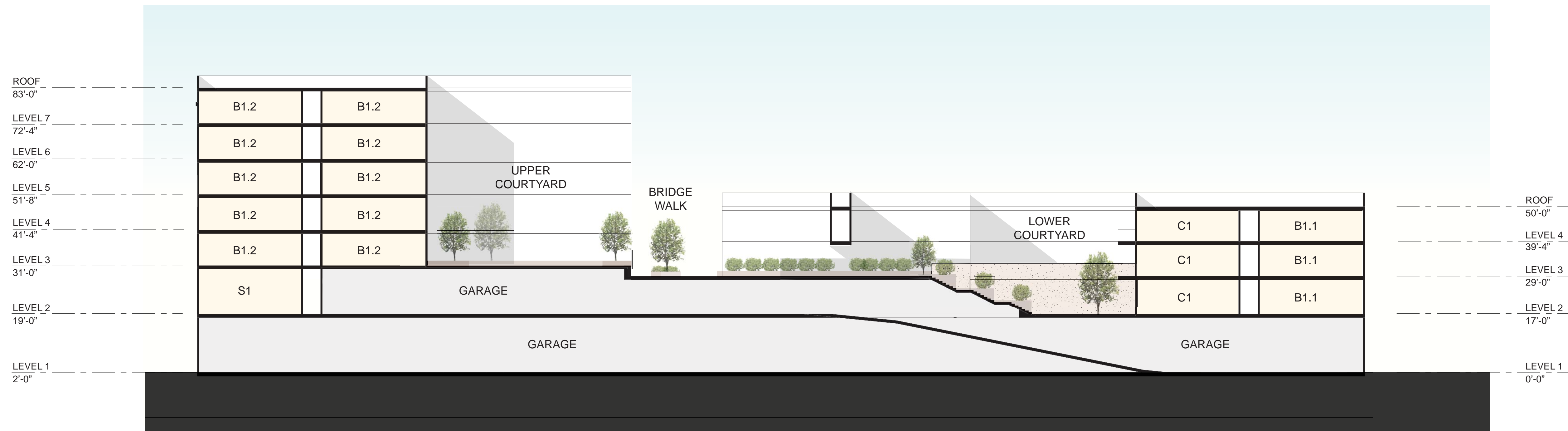




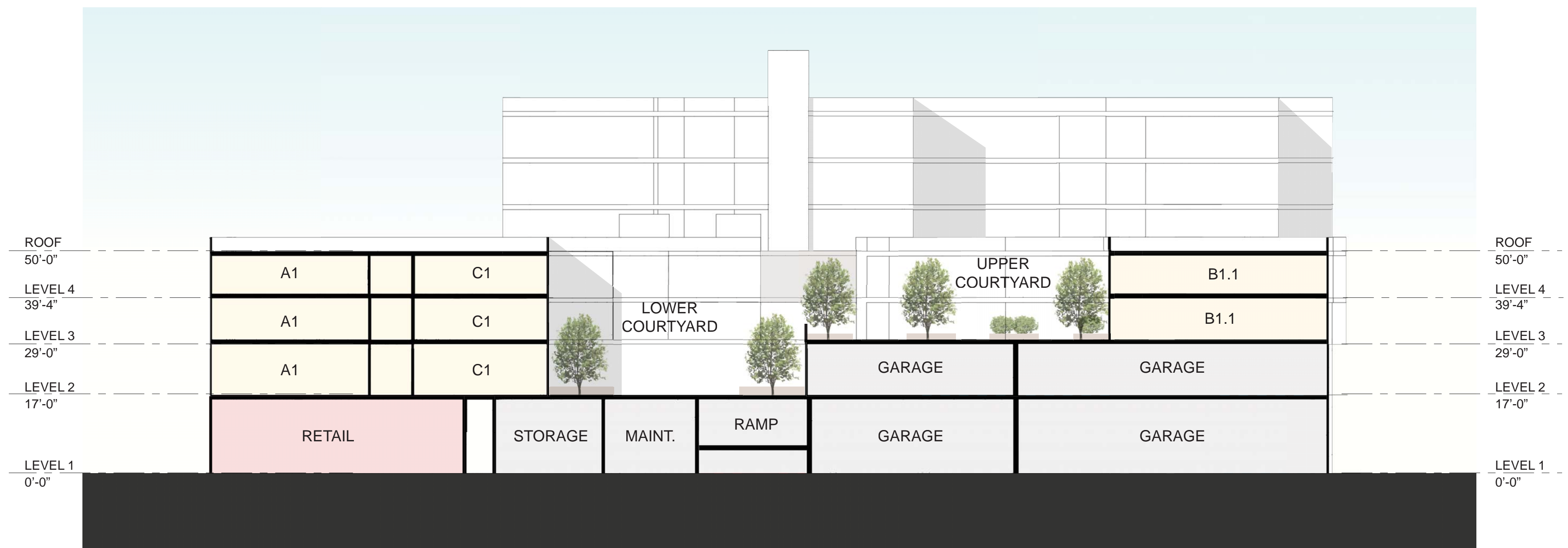




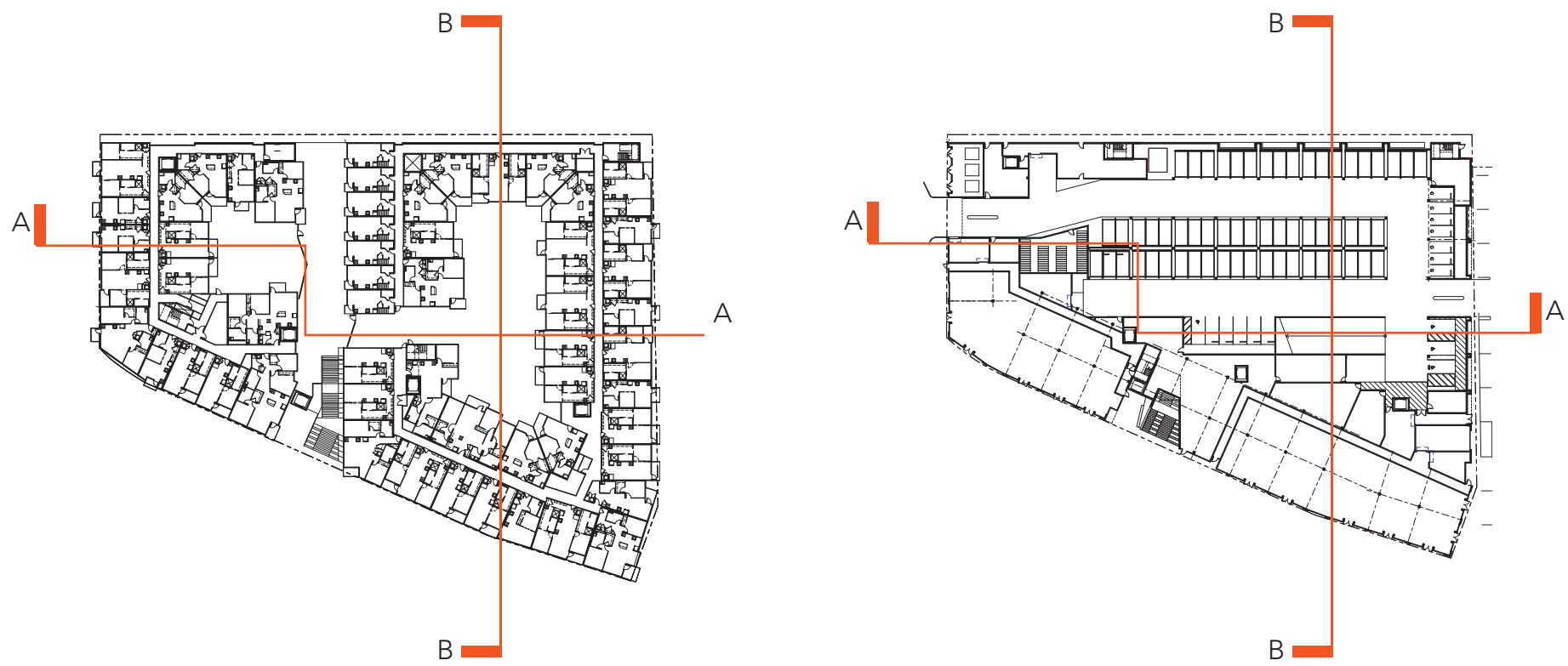


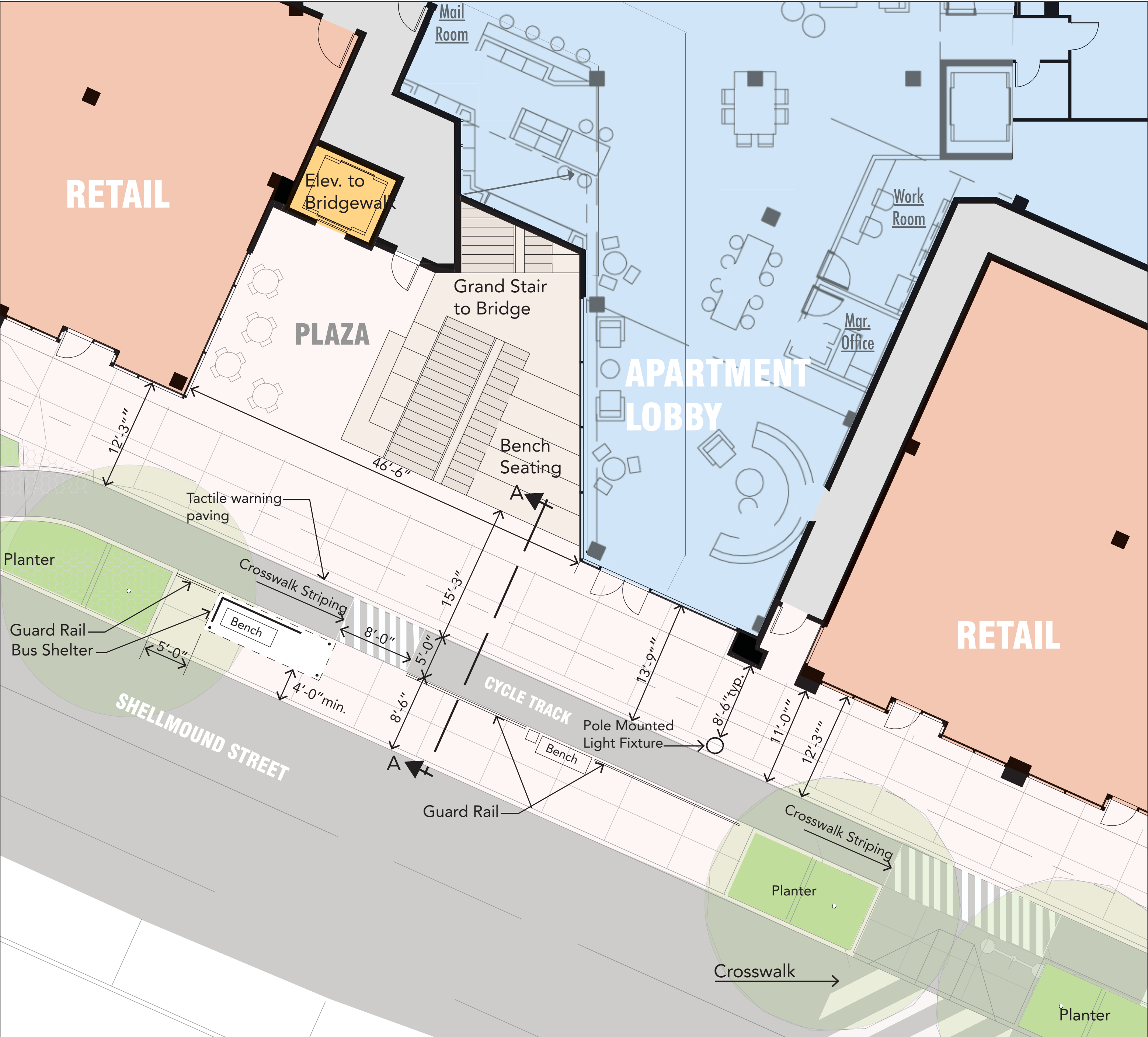


SECTION A

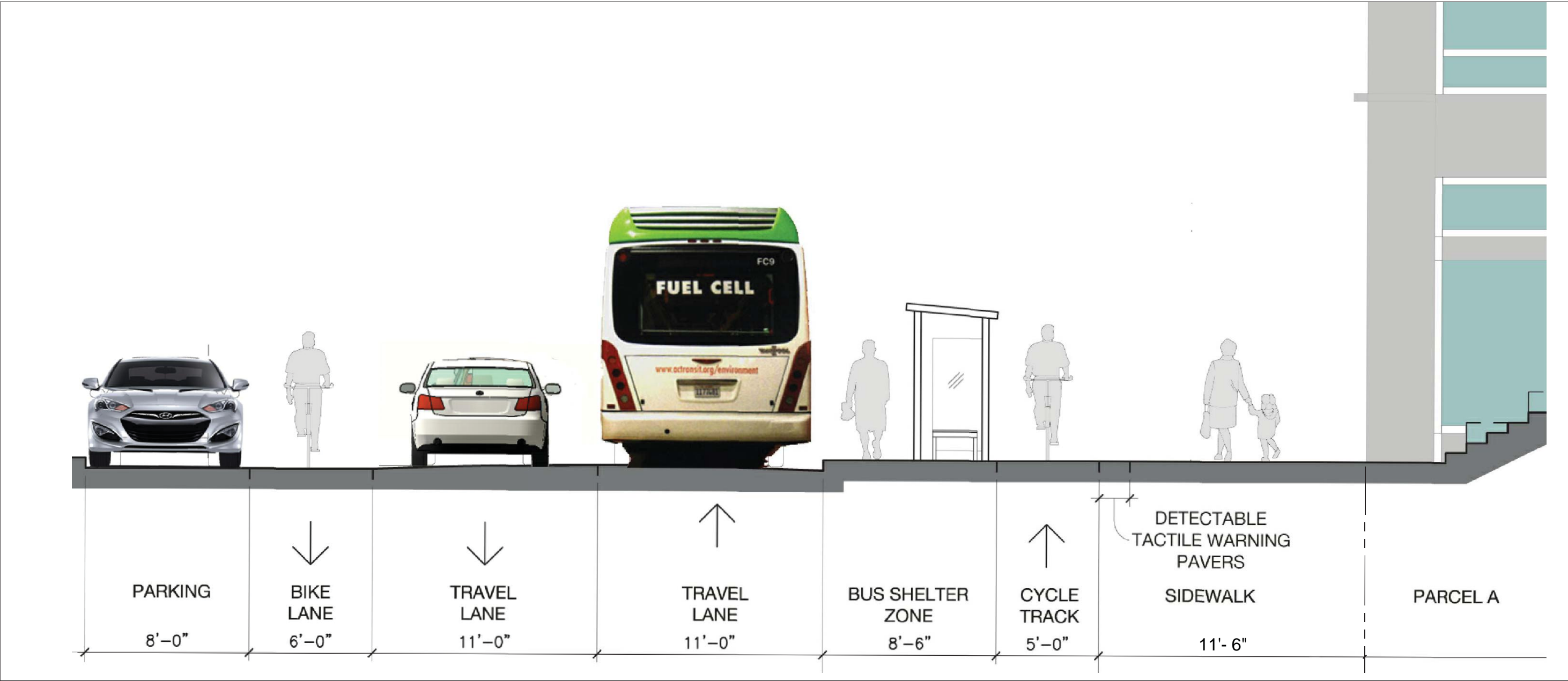


SECTION B

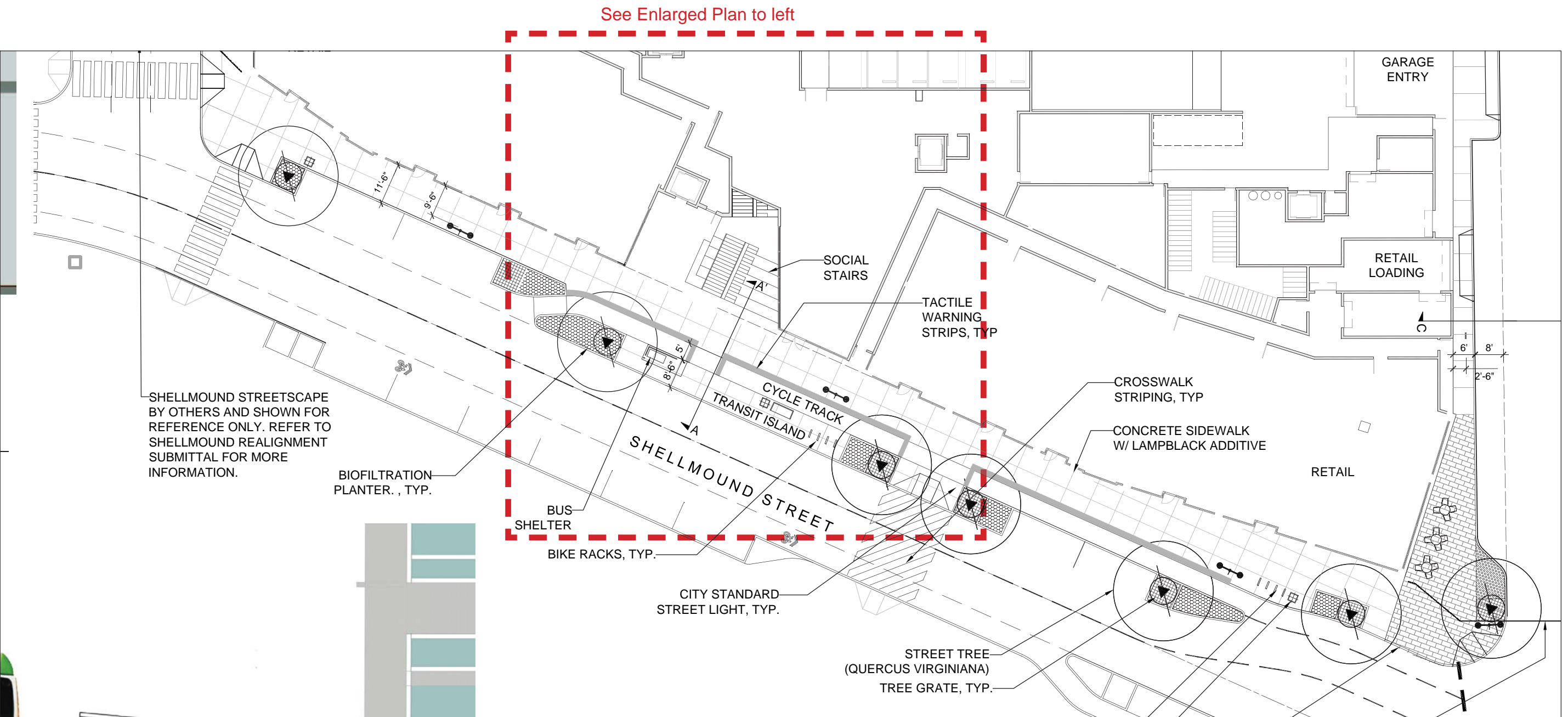




Enlarged Plan at Grand Stair
1"=16'-0"



Streetscape Section A at Shellmound
NTS



Partial Streetscape Plan
NTS



elements and materials- painted steel and larger scale signage



regular rhythm of brick or concrete piers with dark glazed infill



recessed window and panels



townhomes with regular rhythm



rustic materials- board formed concrete



shellmound elevation

vertical orientation at corner

brick base ties to marketplace

retail rhythm carries through residential large recessed bays of panel, glass, and decks

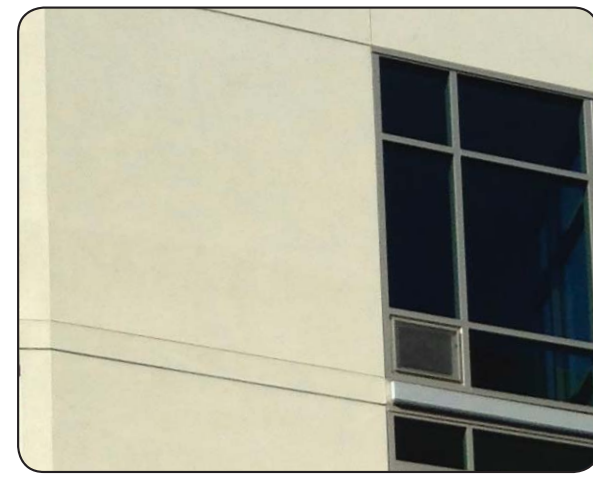
textured concrete frame with glass infill



1. FIBER CEMENT PANEL



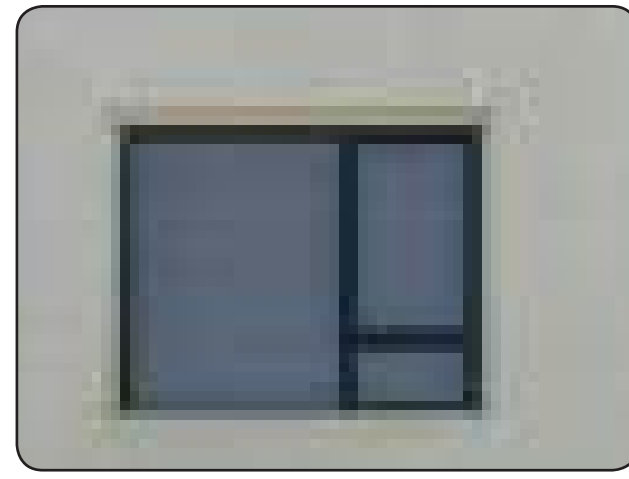
2. FIBER CEMENT PANEL
(HORIZONTAL FORMAT)



3a. EXTERIOR PLASTER SMOOTH
3b. EXTERIOR PLASTER SAND
FINISH



4. CONCRETE COLUMNS & WALL
(BOARD FORMED & SMOOTH, SEE
ENLARGED DETAILS)



5. RECESSED VINYL
WINDOW- DARK FINISH



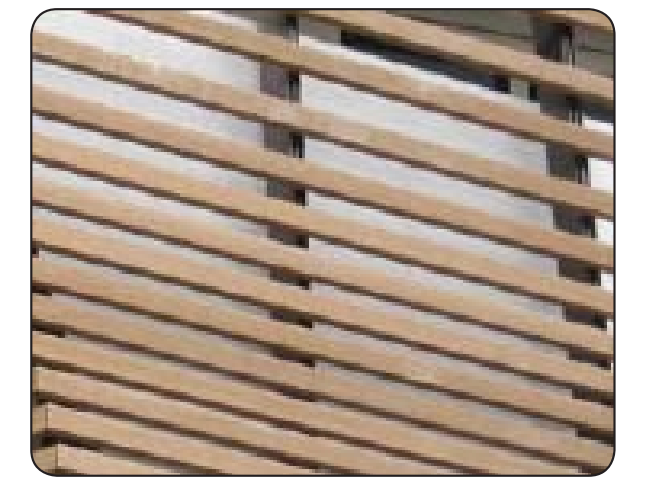
6. ALUMINUM STOREFRONT



7. BRICK VENEER



8. GLASS RAILING SYSTEM



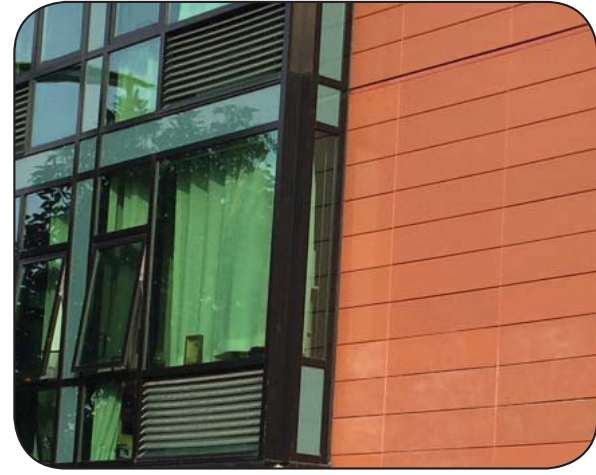
11. COMPOSITE WD. LATTICE



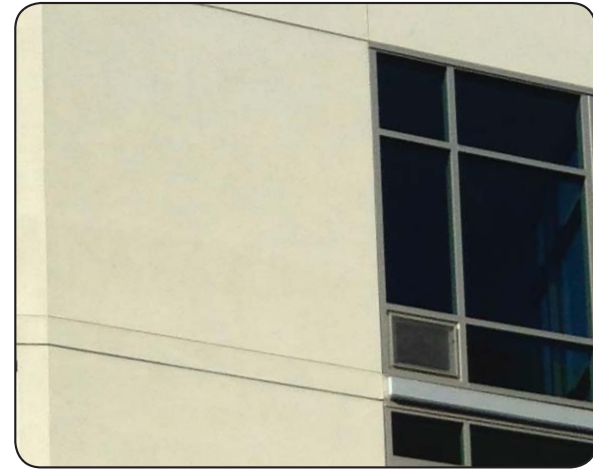
*WINDOW DESIGN MAY VARY



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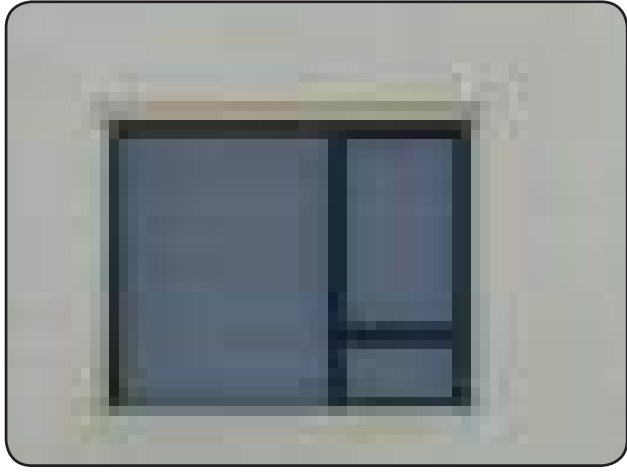
2. FIBER CEMENT PANEL (HORIZONTAL FORMAT)



3a. EXTERIOR PLASTER - SMOOTH
3b. EXTERIOR PLASTER SAND FINISH



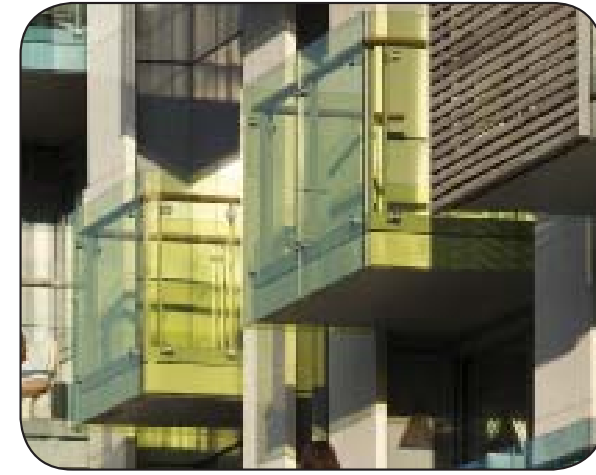
4. CONCRETE COLUMNS & WALL (BOARD FORMED & SMOOTH)



5. RECESSED VINYL WINDOW- DARK FINISH



6. ALUMINUM STOREFRONT AND AWNING WHERE OCCURS



8. GLASS RAILING SYSTEM



9. METAL RAILING SYSTEM



12. METAL LOUVER



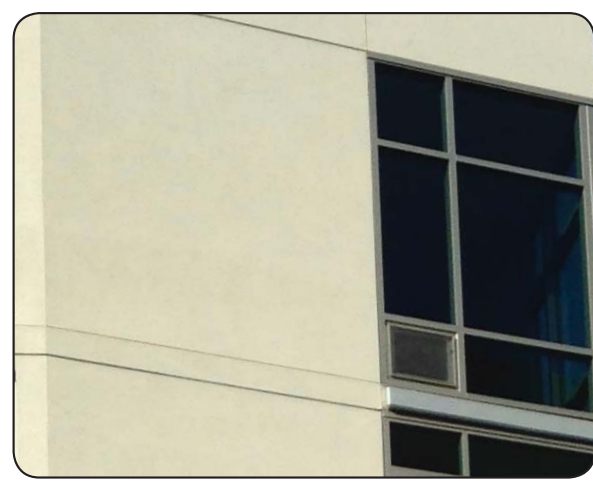
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1. FIBER CEMENT PANEL



2. FIBER CEMENT PANEL (HORIZONTAL FORMAT)



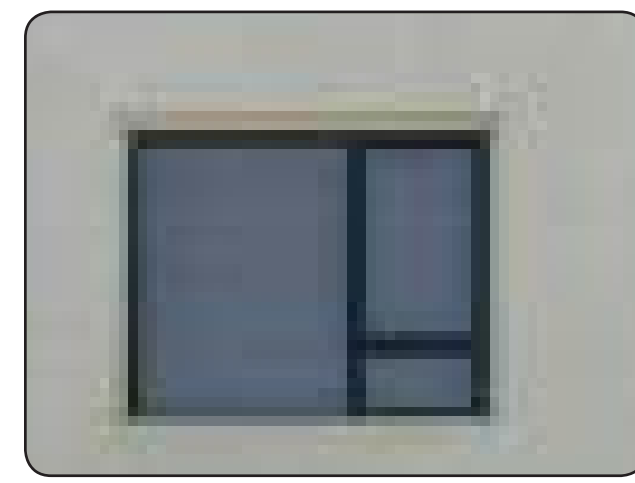
3a. EXTERIOR PLASTER - SMOOTH FINISH



3b. EXTERIOR PLASTER SAND FINISH



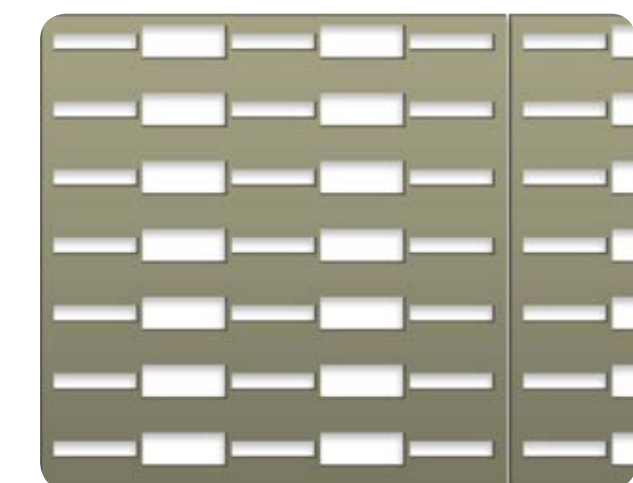
4. CONCRETE COLUMNS & WALL (BOARD FORMED & SMOOTH)



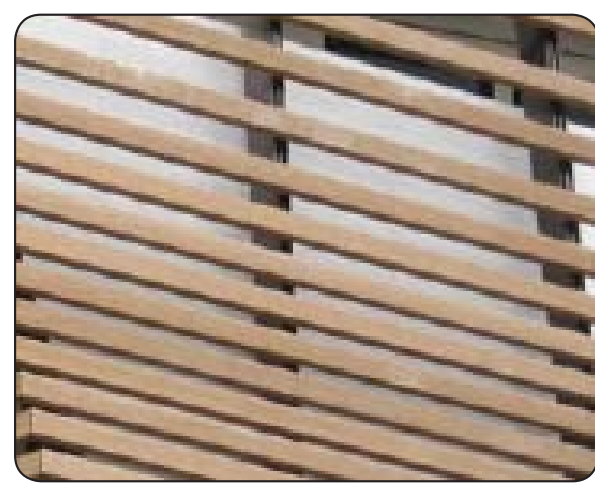
5. RECESSED VINYL WINDOW- DARK FINISH



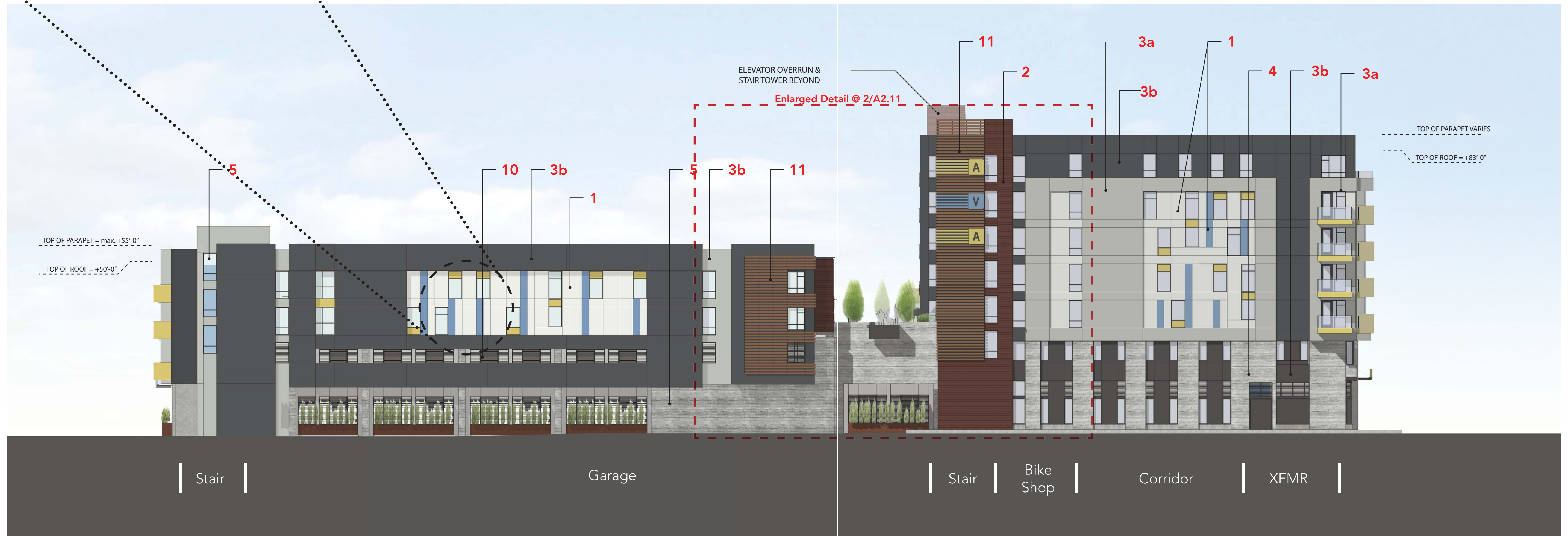
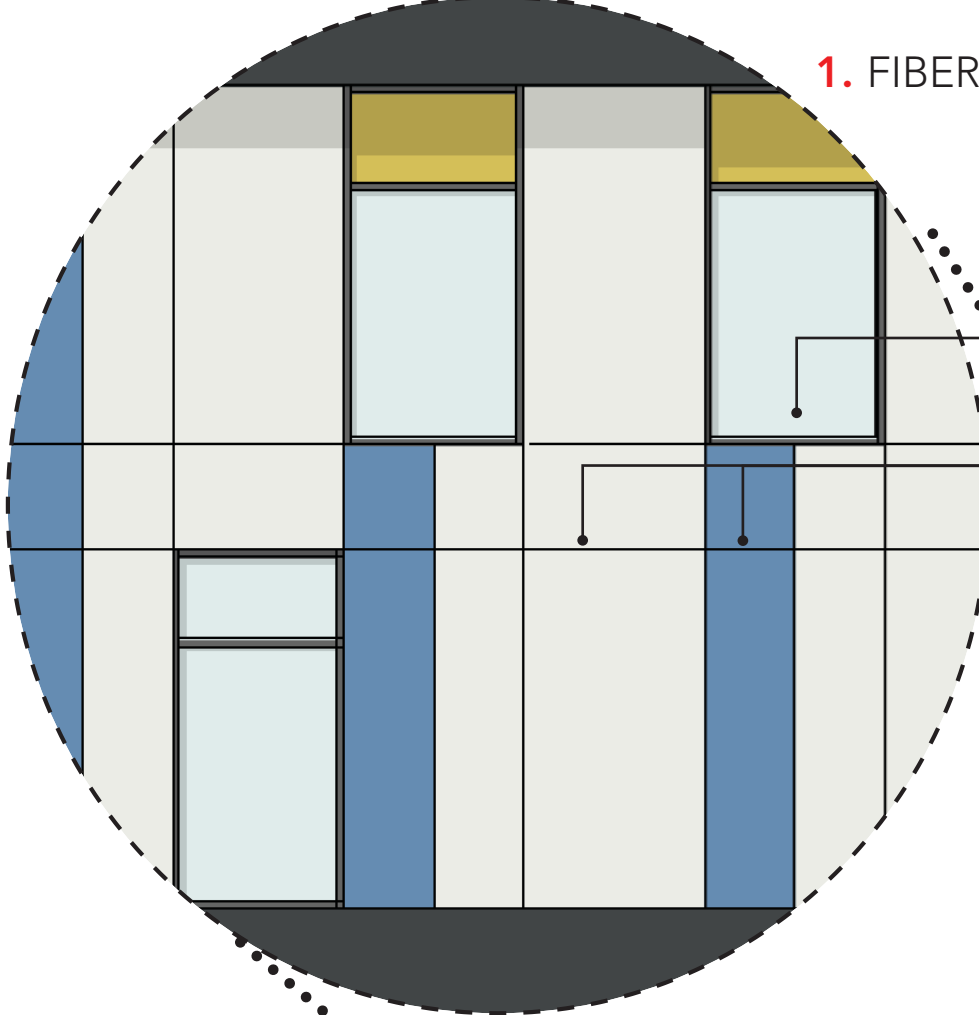
6. ALUMINUM STOREFRONT AND AWNING WHERE OCCURS



10. METAL GARAGE SCREEN



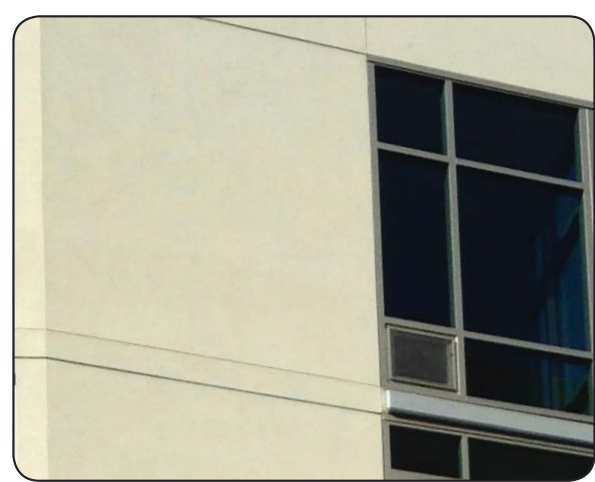
11. COMPOSITE WD. LATTICE



*WINDOW DESIGN MAY VARY



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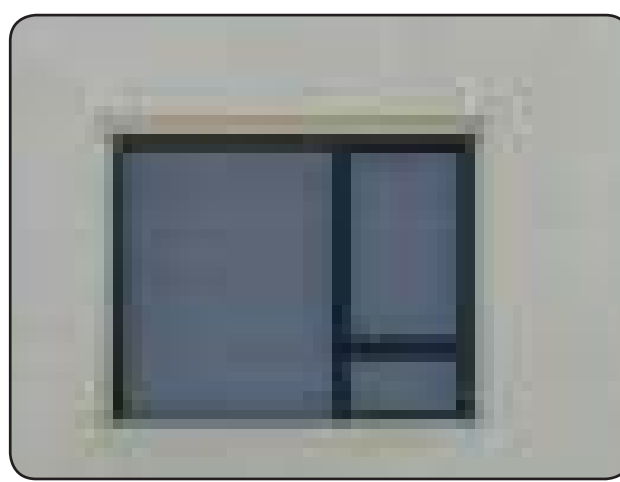
3a. EXTERIOR PLASTER SMOOTH FINISH



4. CONCRETE COLUMNS & WALL (BOARD FORMED & SMOOTH)



3b. EXTERIOR PLASTER SAND FINISH



5. RECESSED VINYL WINDOW- DARK FINISH



6. ALUMINUM STOREFRONT



7. BRICK VENEER



8. GLASS RAILING SYSTEM



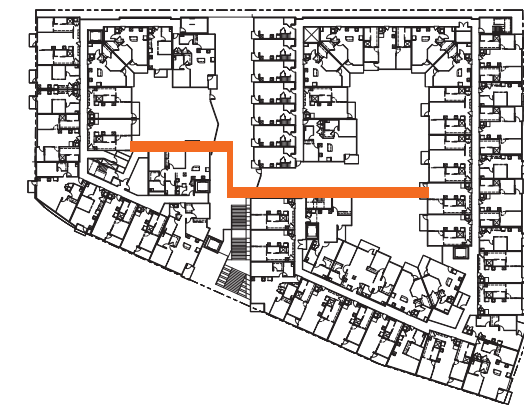
12. METAL LOUVER



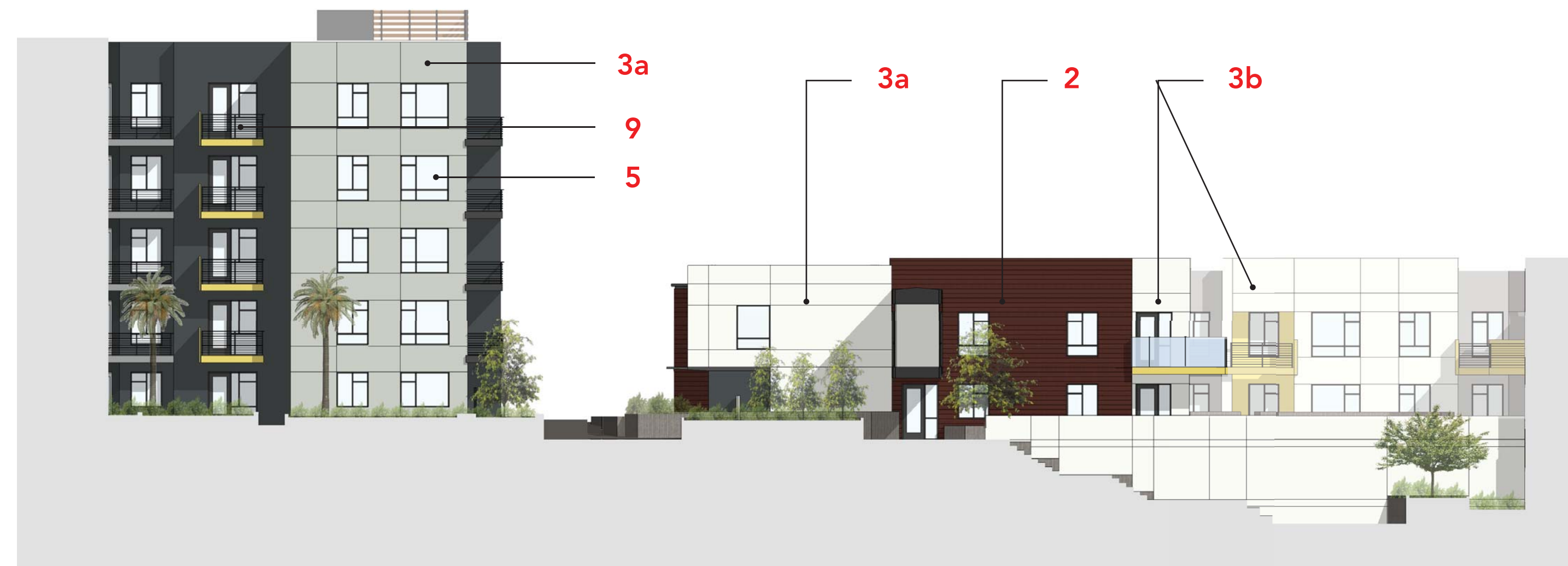
*WINDOW DESIGN MAY VARY



EAST ELEVATION AT COURTYARD



SOUTH ELEVATION AT COURTYARD



WEST ELEVATION AT COURTYARD



- 1. FIBER CEMENT PANEL
- 2. FIBER CEMENT PANEL (HORIZONTAL FORMAT)
- 3a. EXTERIOR PLASTER SMOOTH
- 3b. EXTERIOR PLASTER SAND FINISH
- 4a. CONCRETE PLANTER WALL
- 4b. BOARD FORMED CONCRETE
- 5. RECESSED VINYL WINDOW-DARK FINISH
- 8. GLASS RAILING SYSTEM
- 9. METAL RAILING SYSTEM
- 11. COMPOSITE WD LATTICE
- 13. PERFORATED METAL FENCE SYSTEM



**EAST ELEVATION AT
LOWER COURTYARD**



**WEST ELEVATION AT
UPPER COURTYARD**



SOUTH ELEVATION AT UPPER & LOWER COURTYARD



NORTH ELEVATION AT UPPER & LOWER COURTYARD



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- 11. COMPOSITE WD LATTICE
- 13. PERFORATED METAL FENCE SYSTEM



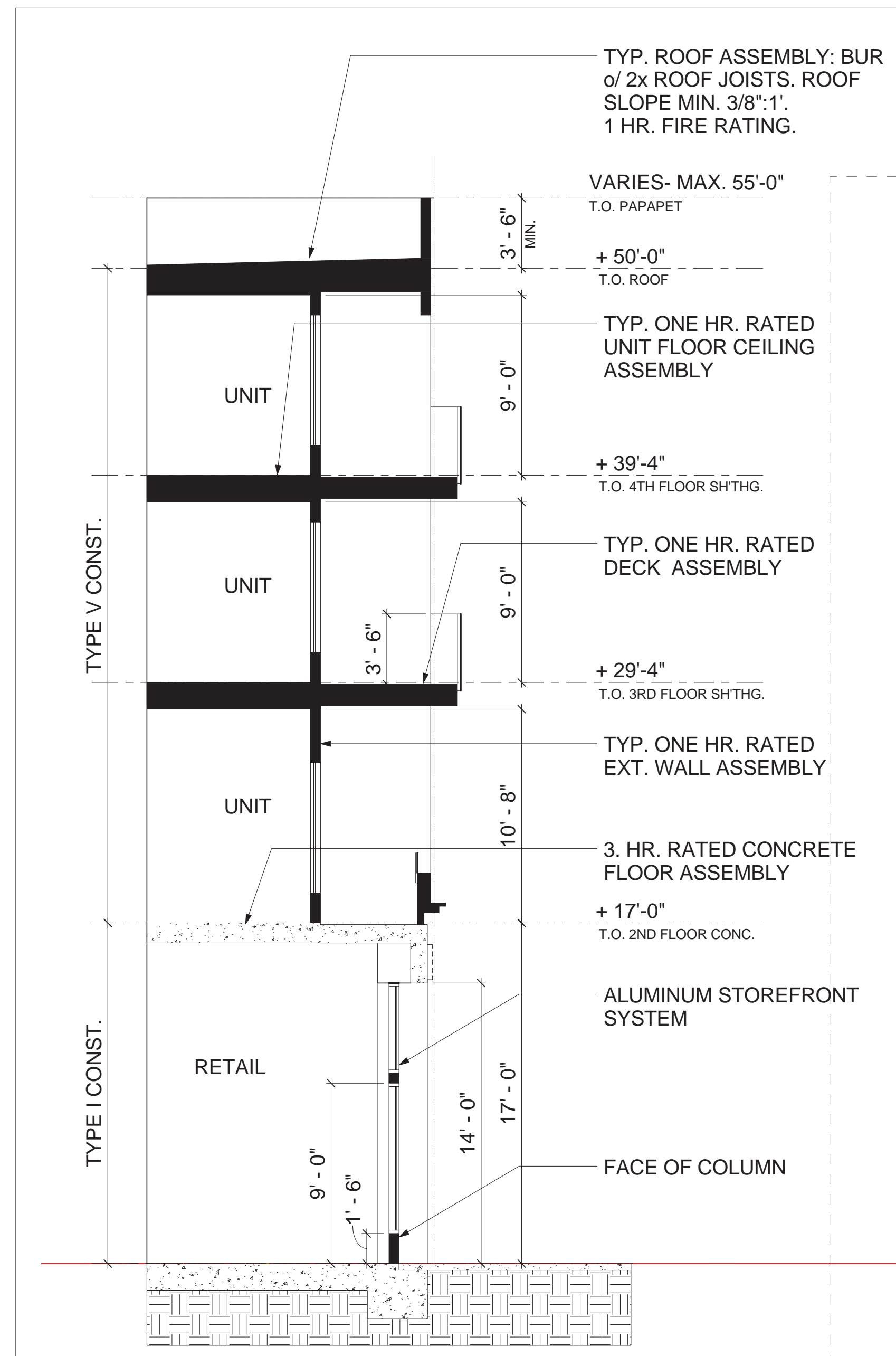
BRIDGE WALK ELEVATION - NORTH BUILDING



BRIDGE WALK ELEVATION - SOUTH BUILDING

*WINDOW DESIGN MAY VARY

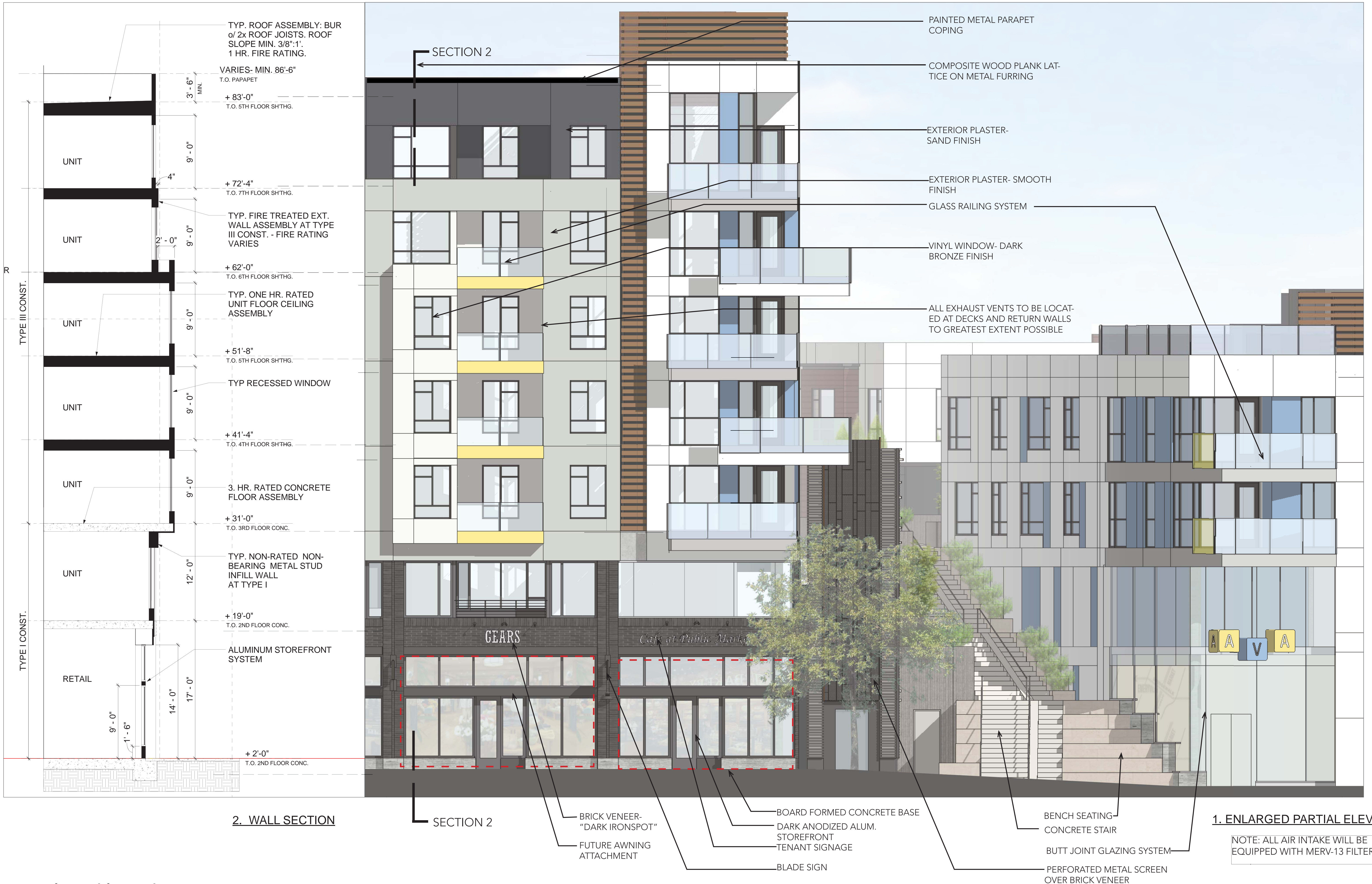


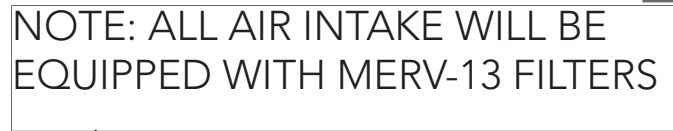


1. WALL SECTION

2. ENLARGED PARTIAL ELEVATION

NOTE: ALL AIR INTAKE WILL BE EQUIPPED WITH MERV-13 FILTERS





EXTERIOR PLASTER- SAND FINISH

Emeryville, California

TC **AvalonBay**
ARCHITECTS COMMUNITIES, INC.



A2.11



BUILDING BEYOND

VINYL WINDOW- DARK BRONZE FINISH

FIBER CEMENT PANEL

FIBER CEMENT PANEL JOINT

EXTERIOR PLASTER- SAND FINISH

ALL EXHAUST VENTS TO BE LOCATED AT DECKS AND RETURN WALLS TO GREATEST EXTENT POSSIBLE

METAL RAILING SYSTEM

BOARD FORMED CONCRETE COLUMN

2. ENLARGED PARTIAL ELEVATION

NOTE: ALL AIR INTAKE WILL BE EQUIPPED WITH MERV-13 FILTERS

SECTION 1

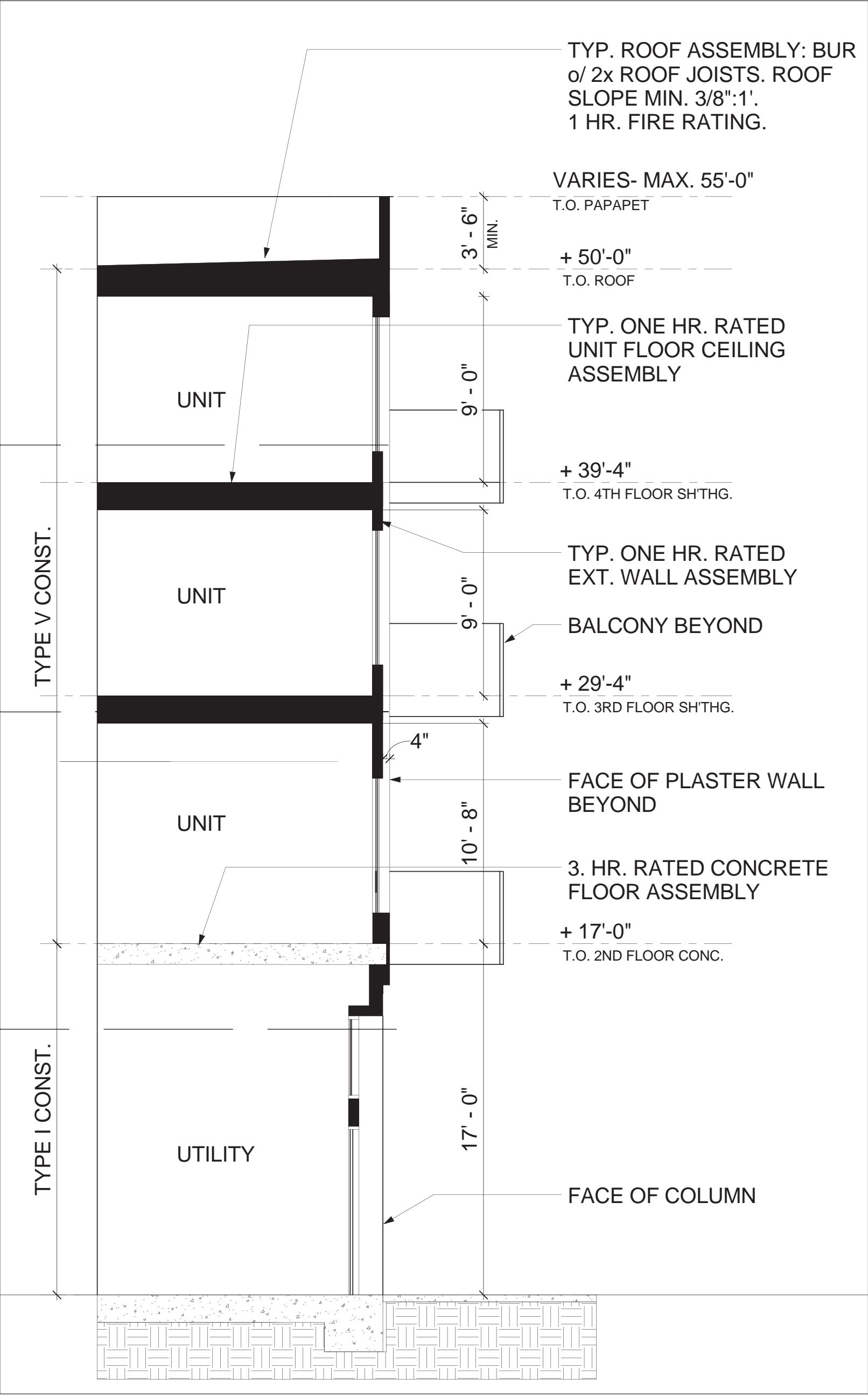
SECTION 1

METAL PLANTER

EXTERIOR PLASTER, SAND FINISH

PTD. METAL ACCESS DOOR W/ LOUVER ABOVE

GARAGE DOOR GRILLE



TYP. ROOF ASSEMBLY: BUR o/ 2x ROOF JOISTS. ROOF SLOPE MIN. 3/8":1'. 1 HR. FIRE RATING.

VARIES- MAX. 55'-0" T.O. PAPAPET

+ 50'-0" T.O. ROOF

TYP. ONE HR. RATED UNIT FLOOR CEILING ASSEMBLY

+ 39'-4" T.O. 4TH FLOOR SHTHG.

TYP. ONE HR. RATED EXT. WALL ASSEMBLY

BALCONY BEYOND

+ 29'-4" T.O. 3RD FLOOR SHTHG.

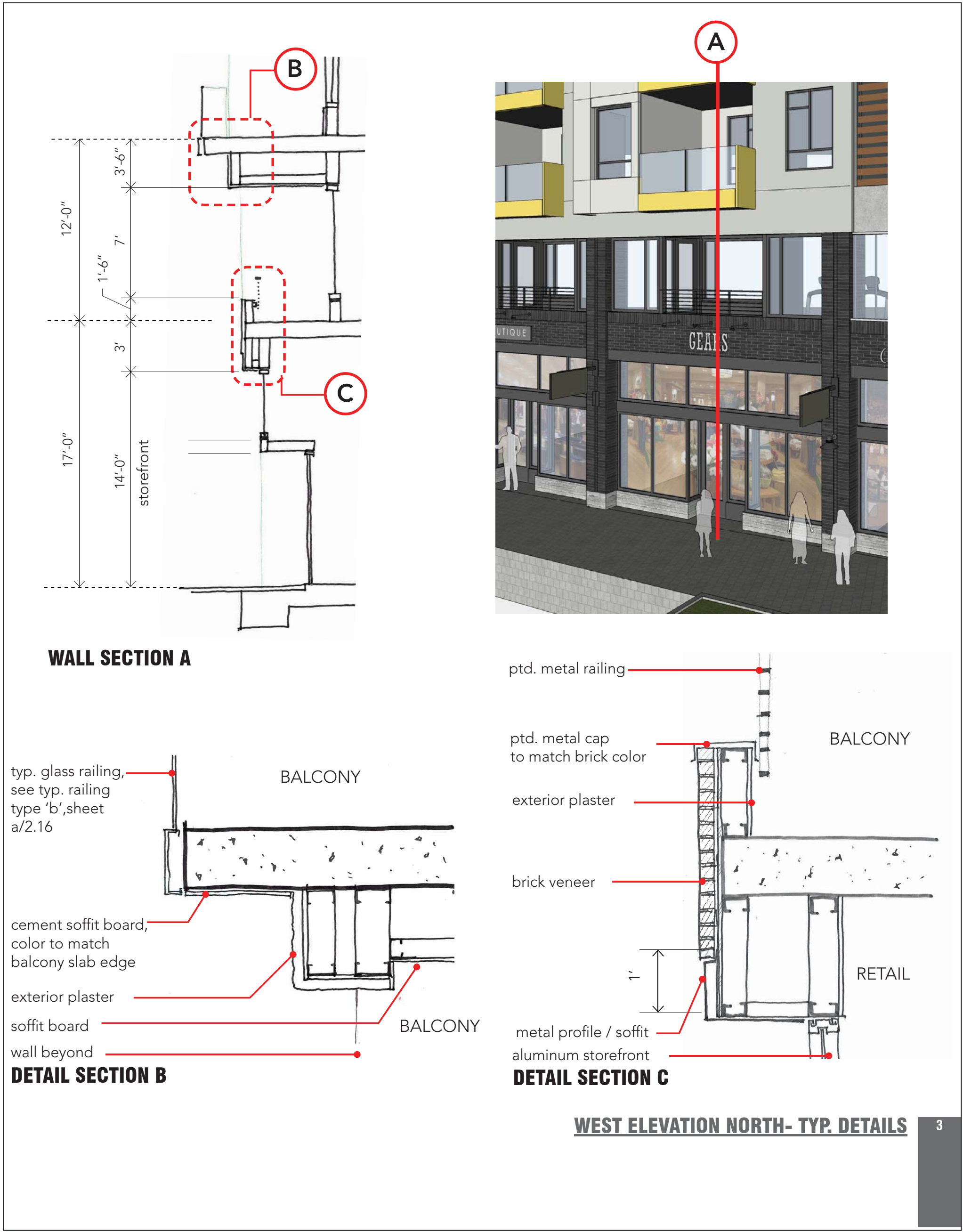
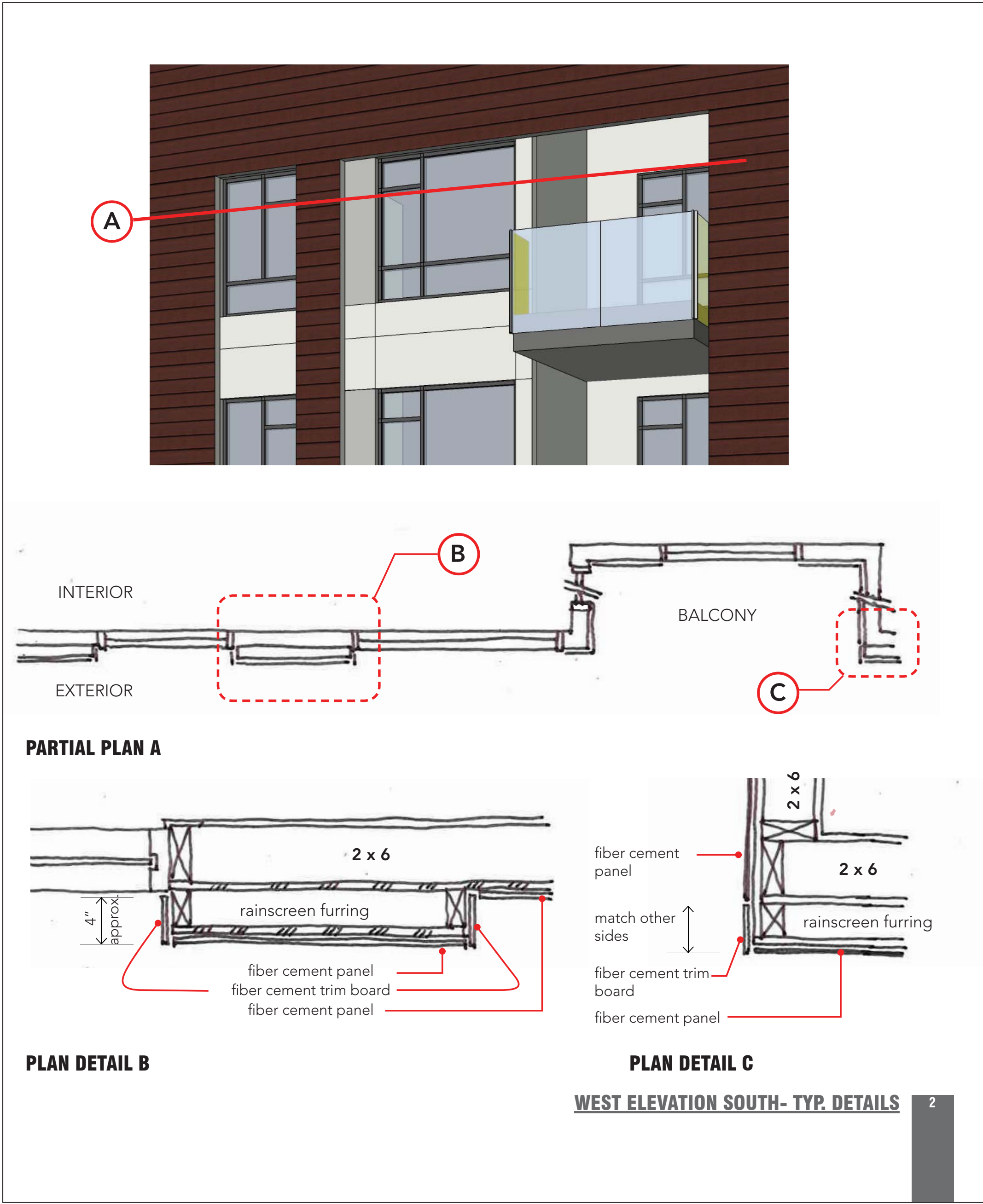
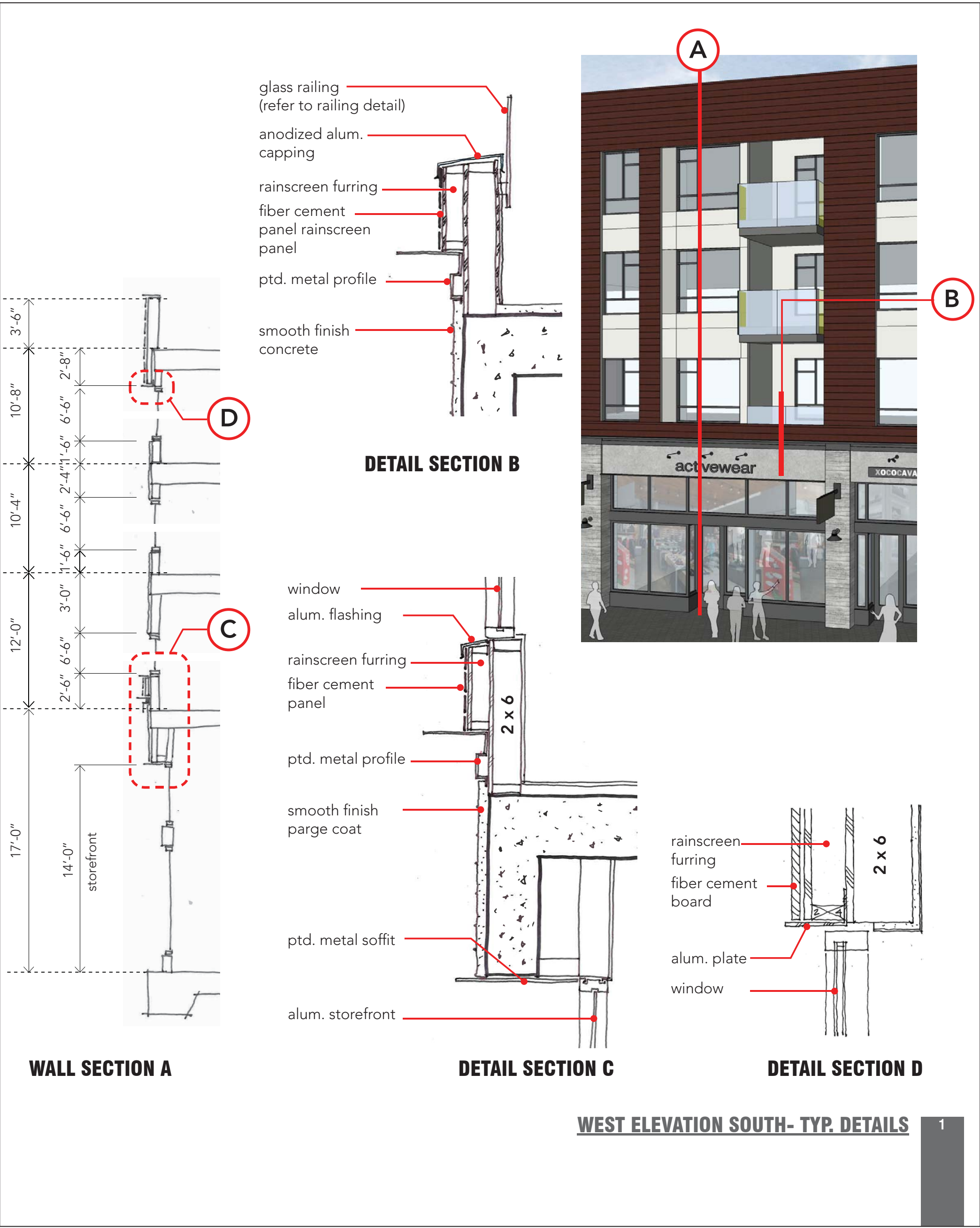
FACE OF PLASTER WALL BEYOND

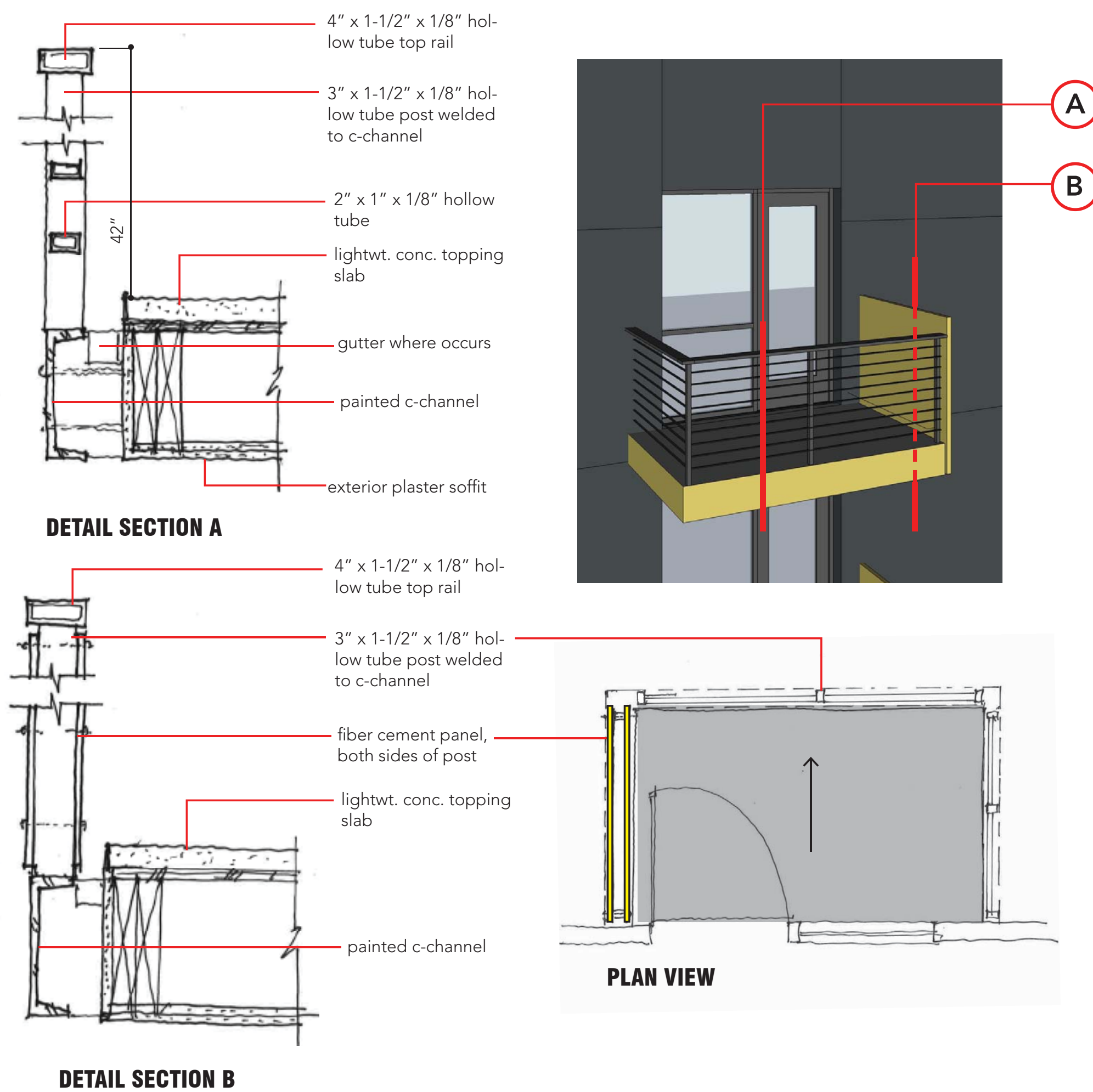
3. HR. RATED CONCRETE FLOOR ASSEMBLY

+ 17'-0" T.O. 2ND FLOOR CONC.

FACE OF COLUMN

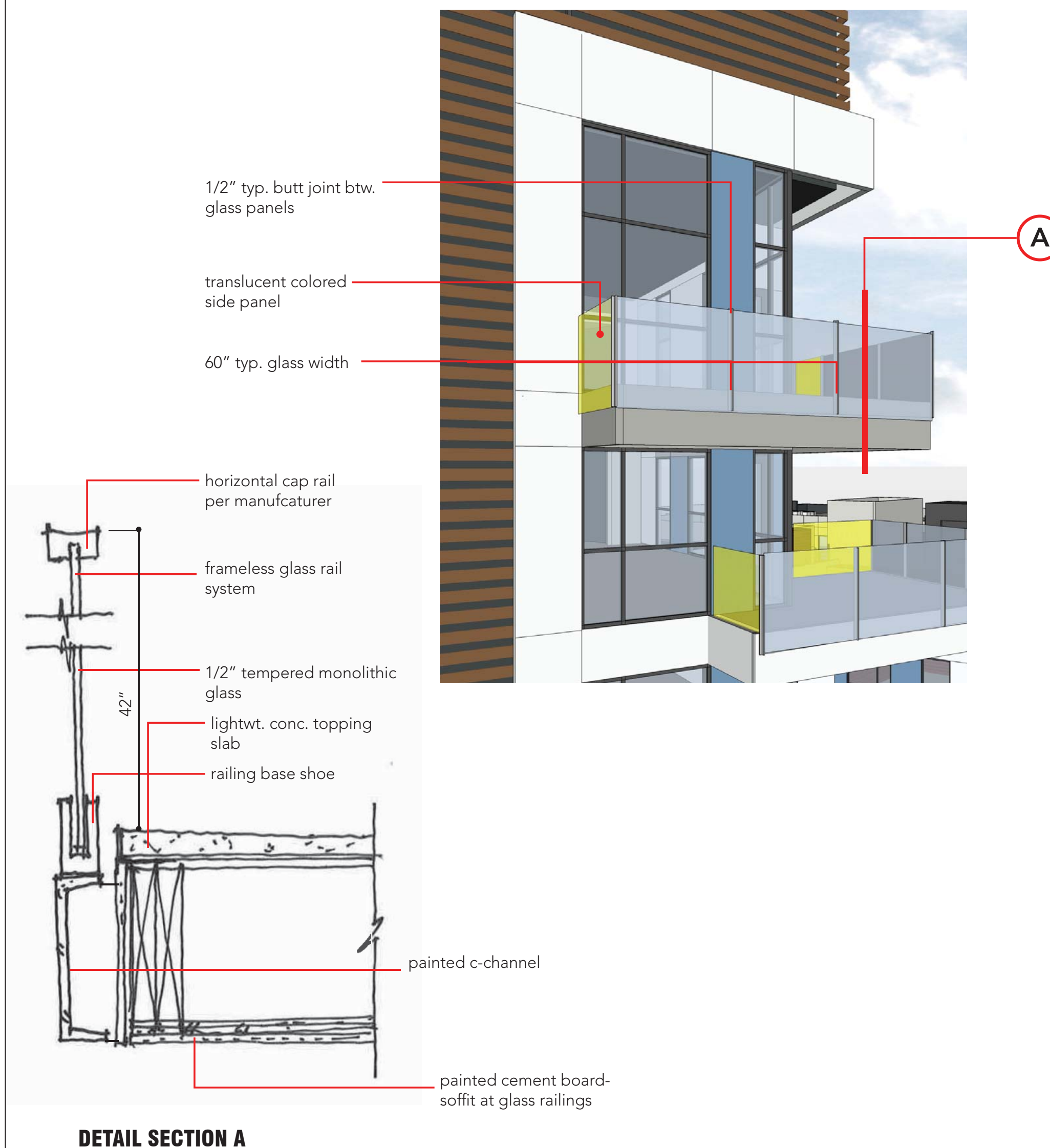
1. WALL SECTION





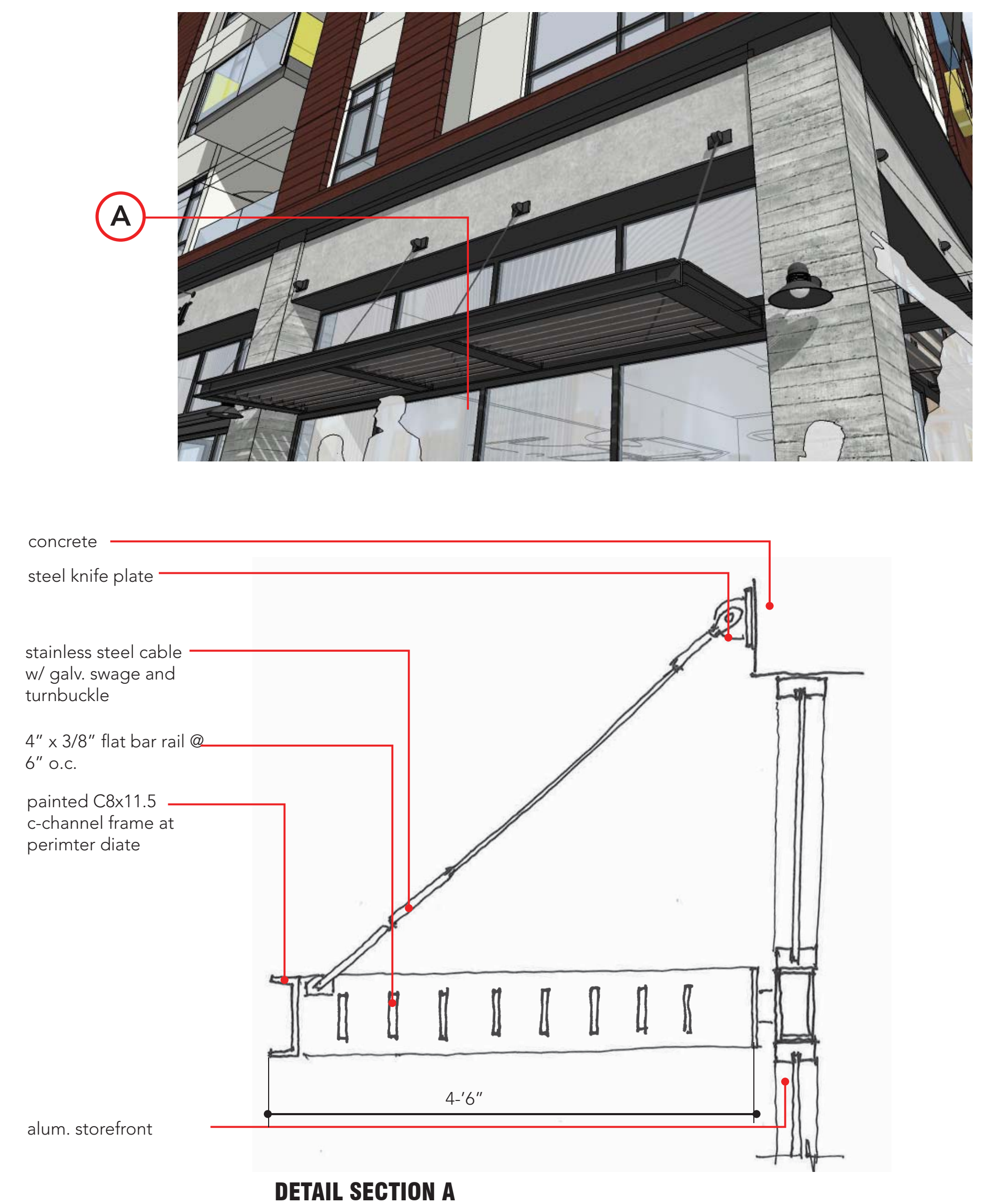
TYP. RAILING TYPE A

10



TYP. RAILING TYPE B

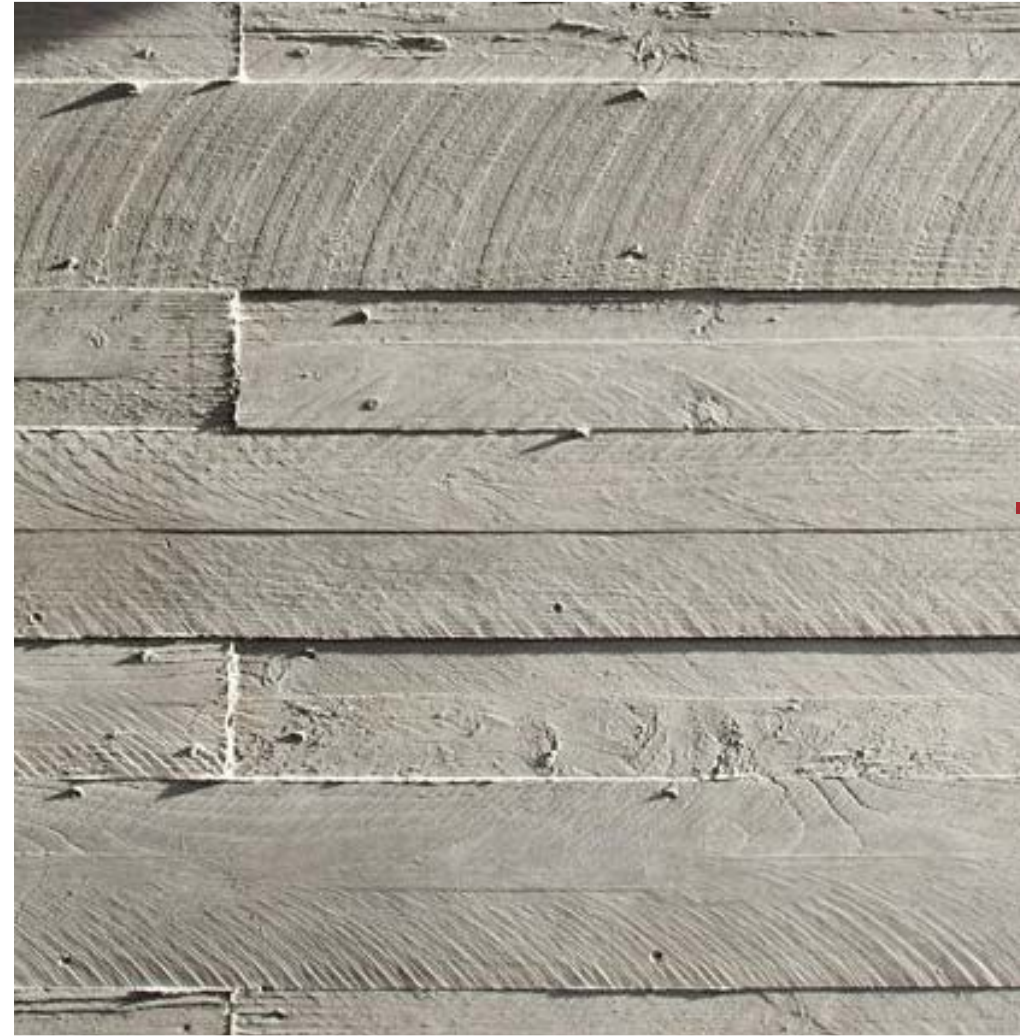
11



**TYP. CANOPY AT RETAIL
GARAGE ENTRY CANOPY SIM.**

12

Perimeter Facade Materials



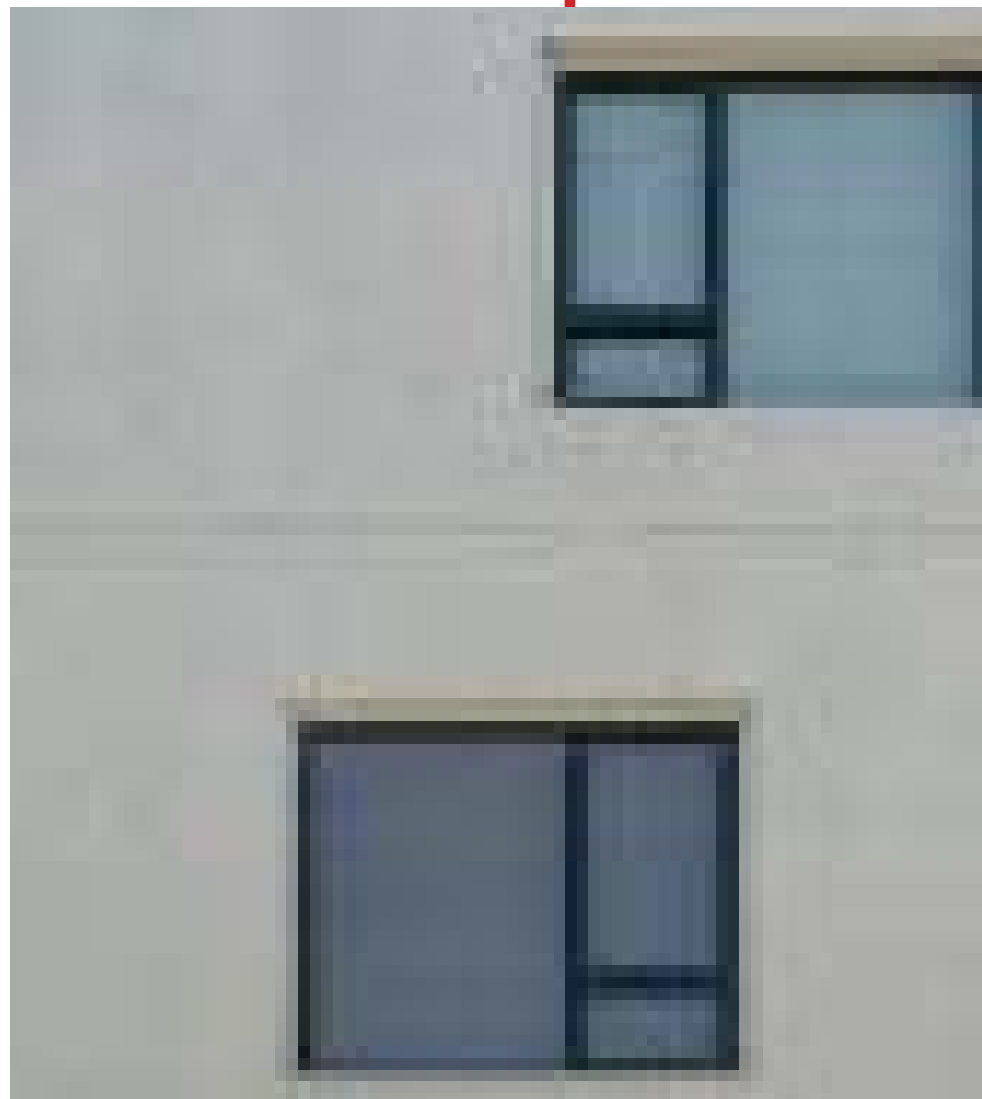
BOARD FORMED CONCRETE



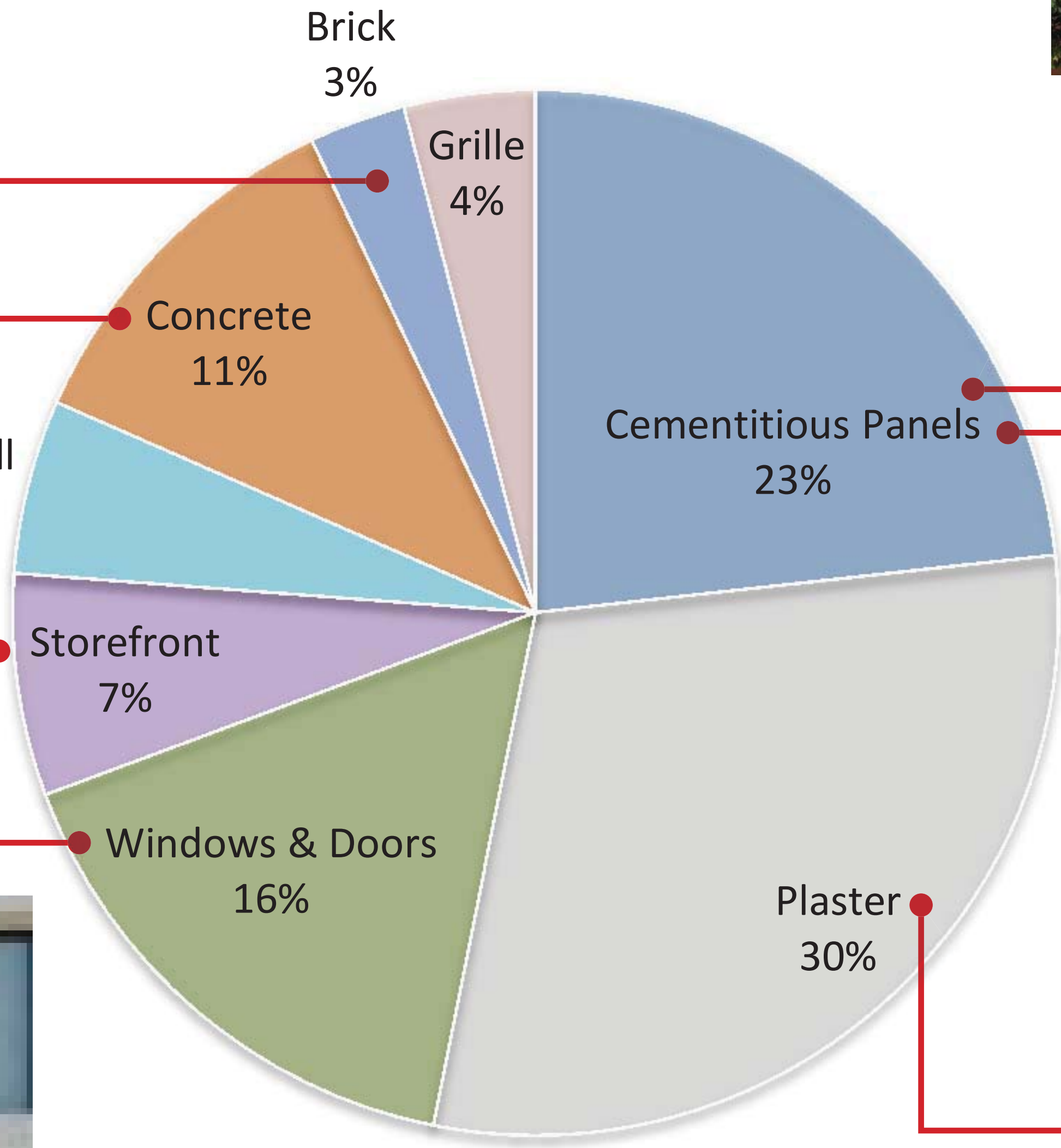
BOARD FORMED CONCRETE



FACE BRICK



VINYL WINDOWS
DARK FINISH



RAIN SCREEN WALL PANELS
SHELLMOUND BUILDING RAIN SCREEN



FIBER CEMENT PANEL SIDING

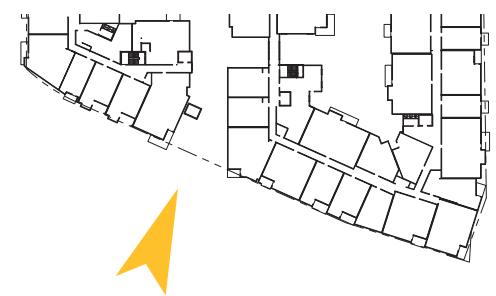


EXTERIOR PLASTER
SAND & SMOOTH FINISH, SCREED LINES



**Avalon Public Market –
Shellmound Residential Building (Parcel A)**
Emeryville, California

Final Development Plan Submission
2015-0714 TCA# 2014-021-01

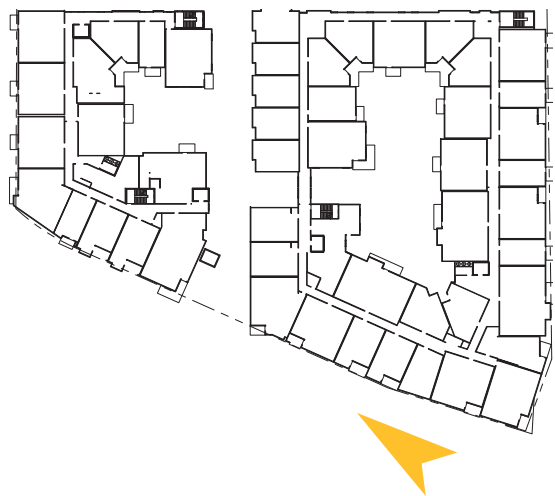


3D VIEW - VIEW ALONG SHELLMOUND



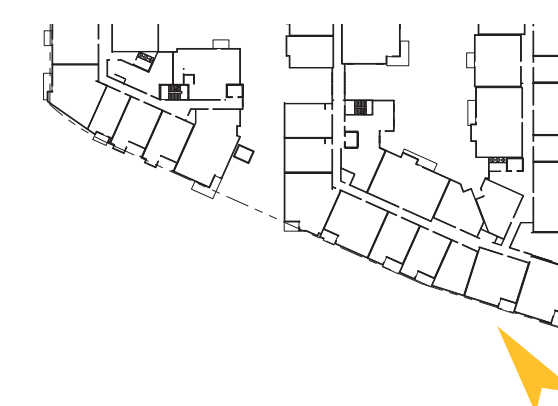
**Avalon Public Market –
Shellmound Residential Building (Parcel A)**
Emeryville, California

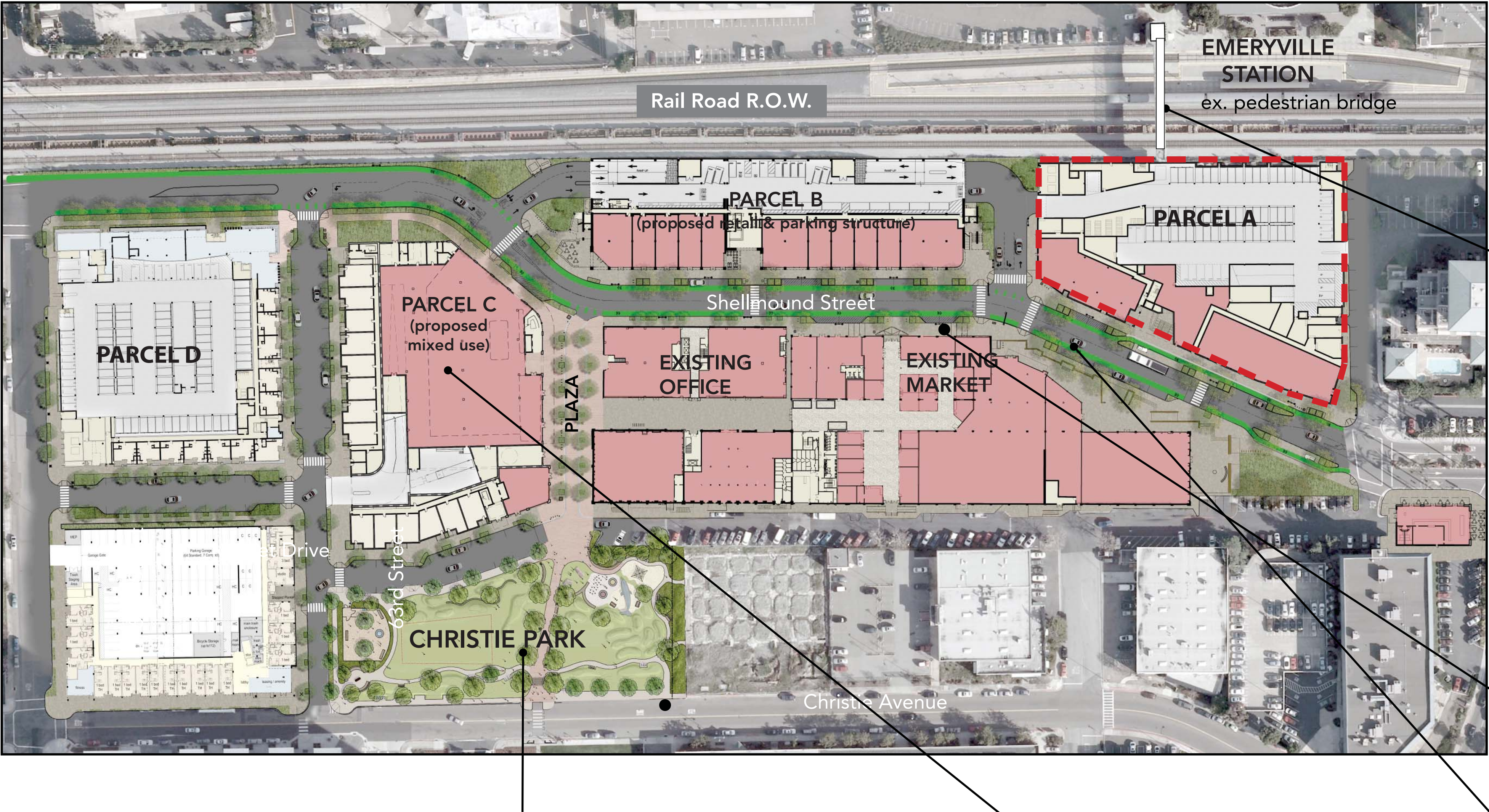
Final Development Plan Submission
2015-0714 TCA# 2014-021-01



3D VIEW - LOOKING NORTH
ALONG SHELLMOUND







Emeryville Amtrak station over the bridge



Emeryville Public Market Restaurants across the street



Christie Park 2 blocks away



Future Grocery Store one block away



Bike Lane right out front



LANDSCAPE STAIR SEATING



COMMUNITY CHALKBOARD



MOVIE WALL

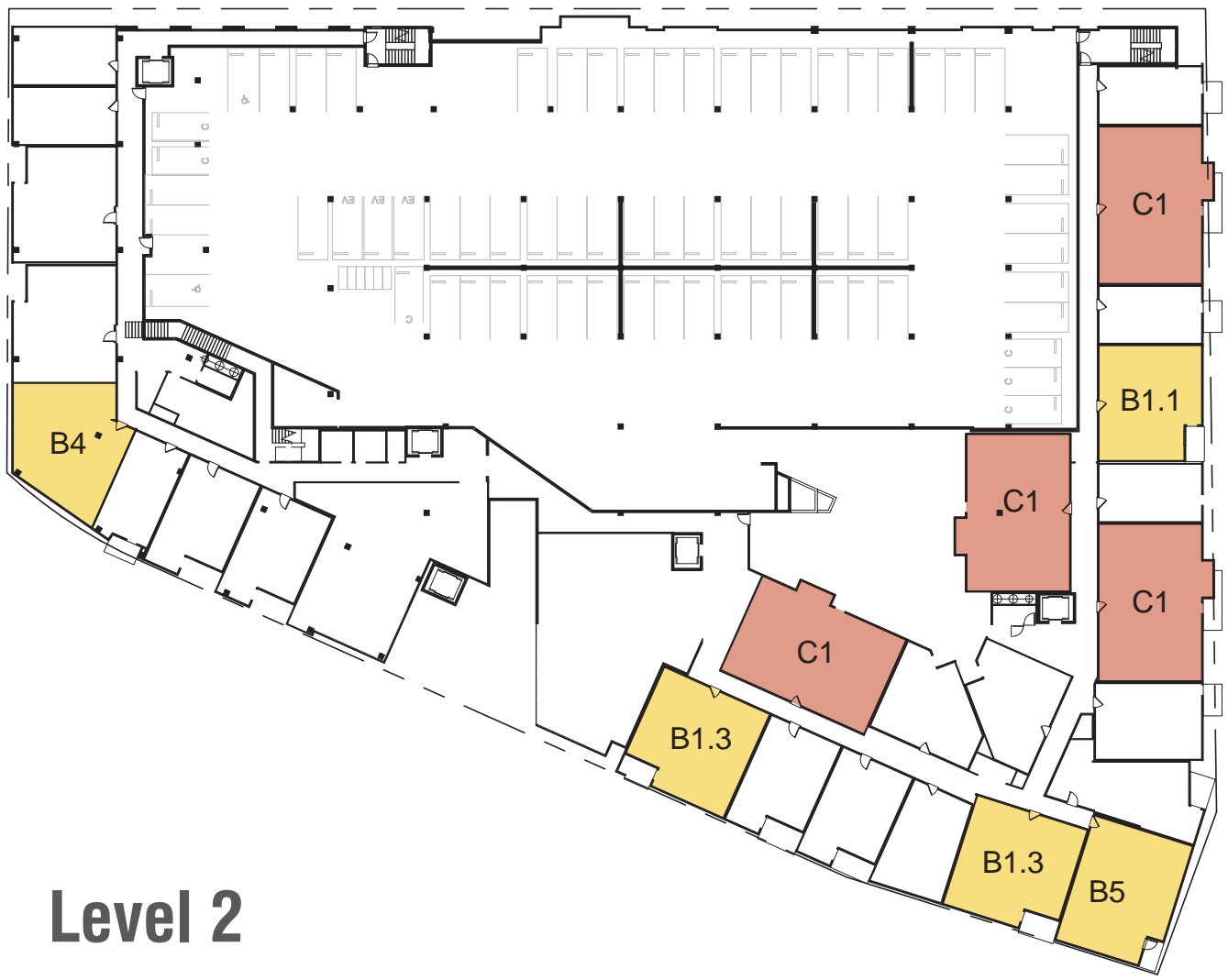
UNIT MIX OVERVIEW

Unit Type	Quan	% of Ttl Units	% of Ttl Unit Type	Area	Net Rentable
Studio					
S1	22	13%	76%	510	11,220
S2	4	2%	14%	630	2,520
S3	3	2%	10%	604	1,812
29		17.4%	100%	536	15,552
1-Bedroom					
A1.1	10	6%	19%	670	6,700
A1.2	8	5%	15%	690	5,520
A2	9	5%	17%	690	6,210
A3	19	11%	37%	700	13,300
A4	3	2%	6%	767	2,301
A5	1	1%	20%	819	819
A6	2	1%	4%	1,012	2,024
52		31.1%		709	36,874

Unit Type	Quan	% of Ttl Units	% of Ttl Unit Type	Area	Net Rentable
2-Bedroom					
B1.1	15	9%	22%	950	14,250
B1.2	6	4%	9%	1,036	6,216
B2	15	9%	22%	1,018	15,270
B3	5	3%	7%	1,032	5,160
B4	6	4%	9%	1,088	6,528
B5	10	6%	14%	1,090	10,900
B6	2	1%	3%	1,082	2,164
B7	5	3%	7%	1,179	5,895
TH-B	5	3%	7%	1,257	6,285
69		41.3%	#REF!	1,053	72,668
3-Bedroom					
C1	12	7%	71%	1,391	16,692
C2	5	3%	29%	1,415	7,075
17		10.2%	100%	1,398	23,767
167				891.4	148,861

2 AND 3 Bdrm.
Legend:

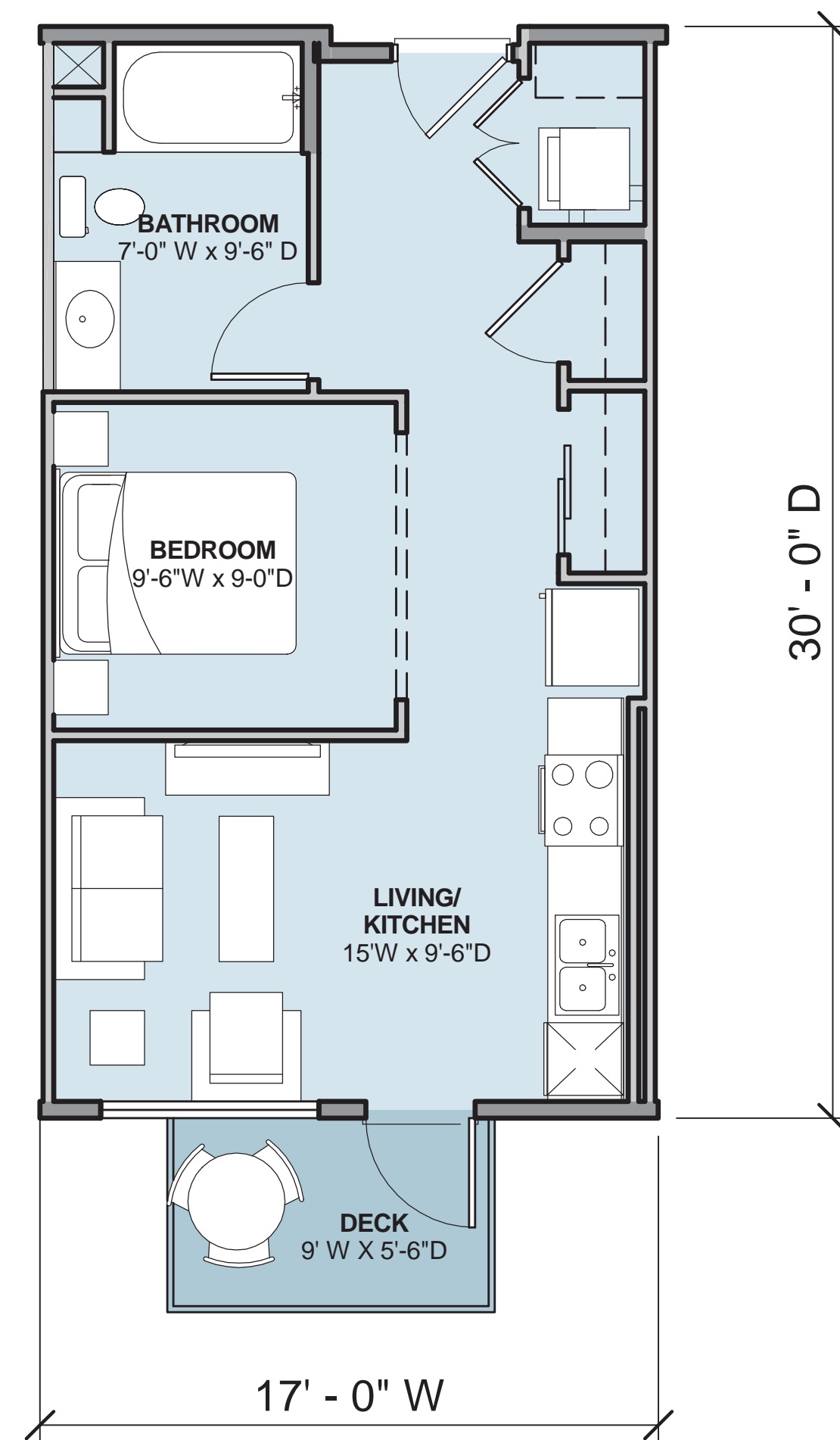
- TWO BEDROOM
- THREE BEDROOM



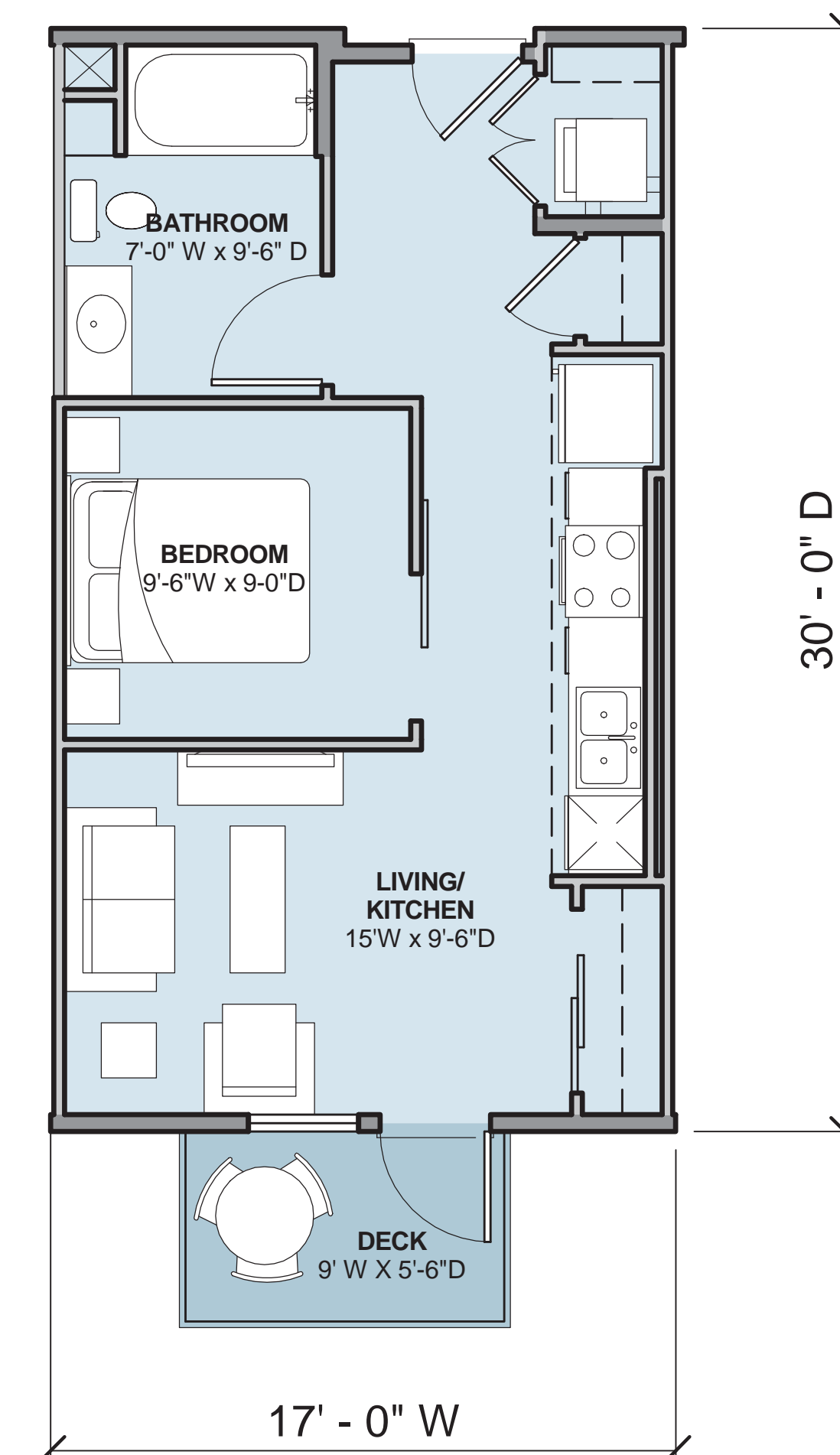
Emeryville Family Friendly Checklist
AVA Public Market (Parcel A)

Family Friendly Guideline		Unit #	B1.1	B1.2	B2	B3	B4	B5	B6	B7	TH-B	C1	C2
		Qty	15	6	15	5	6	10	2	5	5	12	5
J-51	Front Doors should enter into a transtional space, which could be an enclosed foyer		N	Y	N	Y	Y	Y	Y	Y	Y	Y	Y
J-52	Provide indoor space near the entry for tricycles, strollers, outdoor toys, where parked items will not obstruct circulation		N	Y	Y	N	N	N	N	Y	Y	Y	Y
J-53	Provide only one master suite. Other bedrooms should have access to a common bathroom. In 3-bdrm units provide at least (2) full bathrooms		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
J-54	Separate bedrooms and bathroom from living, dining & kitchen areas. In two-level units, place bedrooms ion a separate floor from living rooms		N	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
J-55a	Provide each bedroom with access to a full bathroom without going through the living, dining or kitchen areas.		N	Y	Y	Y	Y	Y	N	Y	Y	Y	Y
J-55b	Provide a bathtub in the unit.		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
J-55c	In multi-level units, provide at least a half bath on the floor with the living, dining & kitchen		n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Y	n/a	n/a
J-56	The dining area should have enough room for a family-sized (6 seat) dining table with all household members seated around it, plus circulation.		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
J-56b	The living area should have enough room for seating for all household members plus other furniture and circulation		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
J-57	Provide windows that allow for supervision of children outdoors in units near play areas		n/a	n/a	Y	Y	n/a	Y	n/a	Y	n/a	Y	n/a
J-58	Hallways (in units) should be well lit and wide enough for children to play		n/a	n/a	Y	n/a	Y	Y	n/a	Y	Y	Y	Y
J-59	Provide adaptable space for toddler play, homework, making music, and gathering		N	N	N	N	N	N	N	N	Y	N	P
J-60	Provide soundproofing between ceilings and floors that is above the Building Code requirement (except under kitchens & bathrooms)		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
J-61a	Infant & toddler safety: Baby Gates @ Stairs		n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Y	n/a	n/a
J-61b	Infant & toddler safety: No Glass Dividers		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y
J-61c	Infant & toddler safety: Window Locks		Y	Y	Y	Y	Y	Y	Y	Y	Y	Y	Y

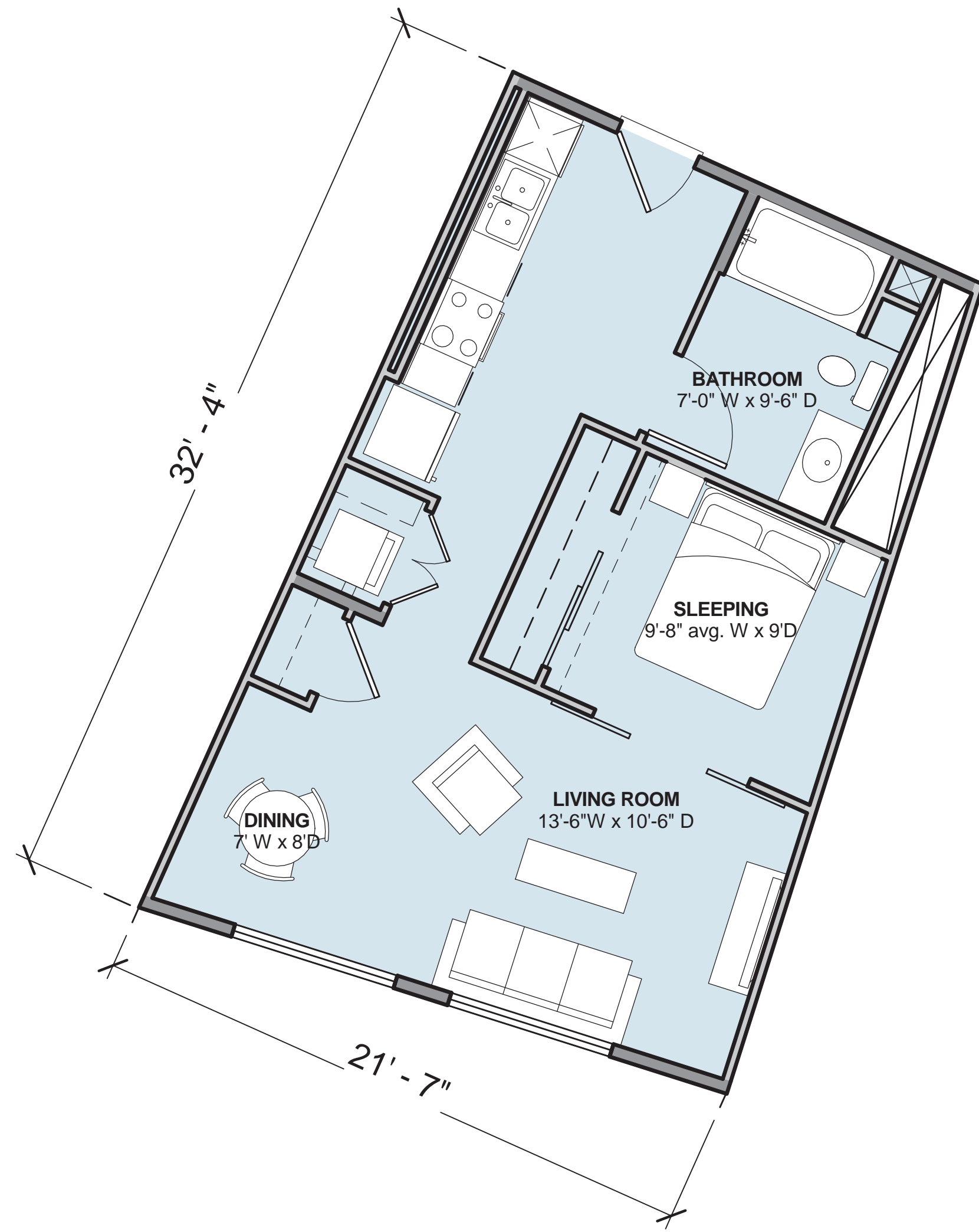
Total
86



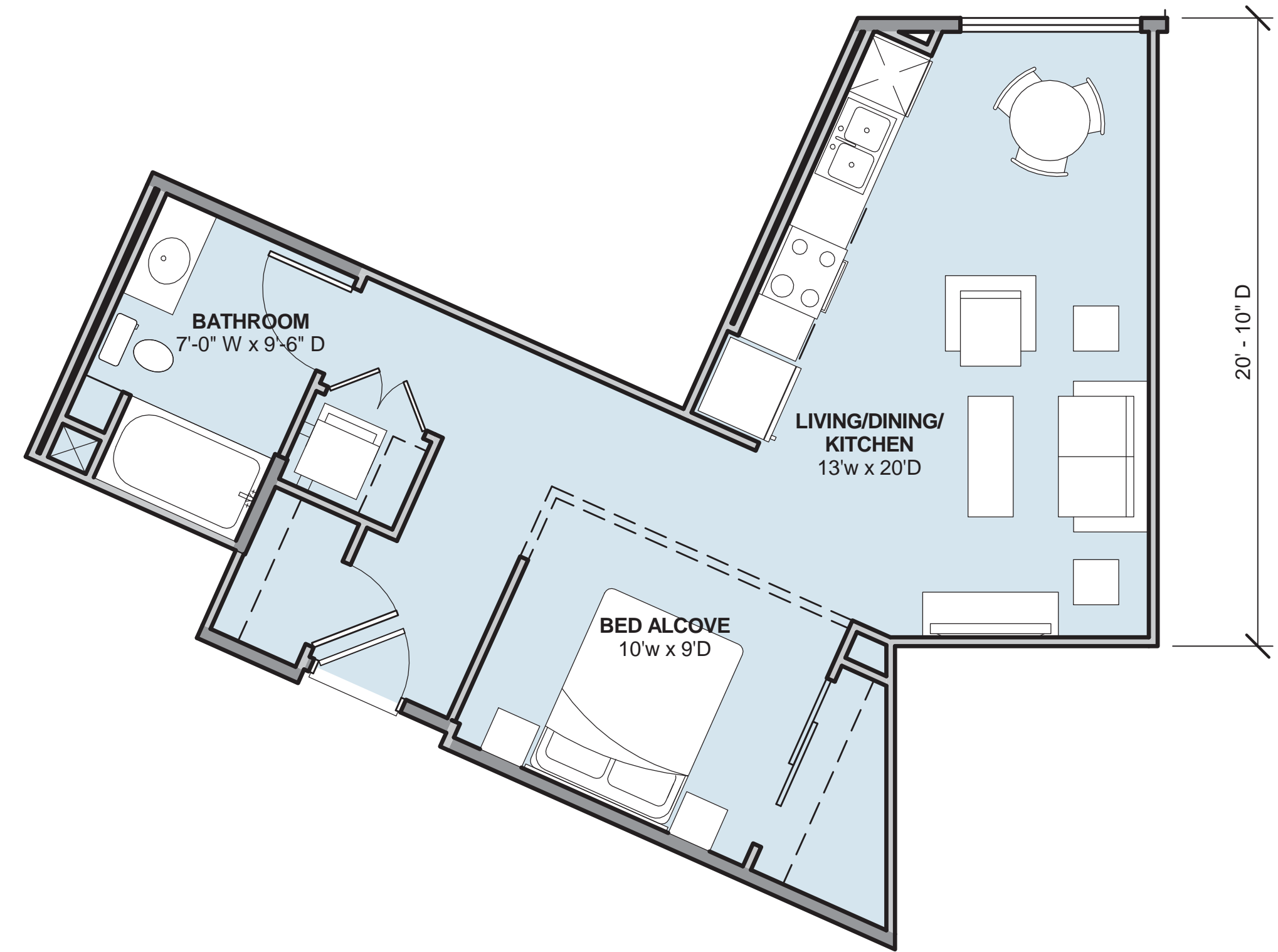
S1.1 STUDIO
510 sq.ft. (16 units)



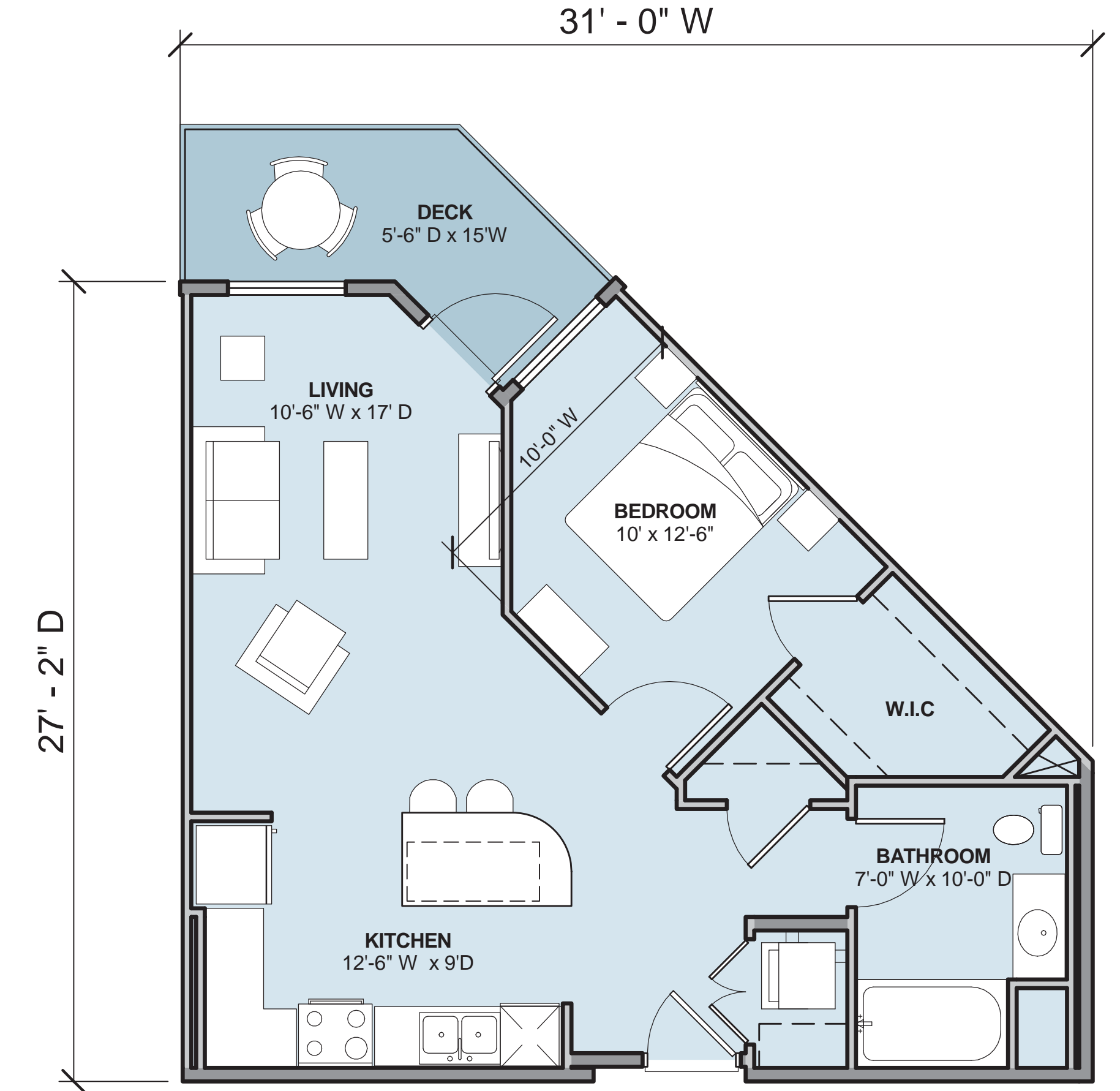
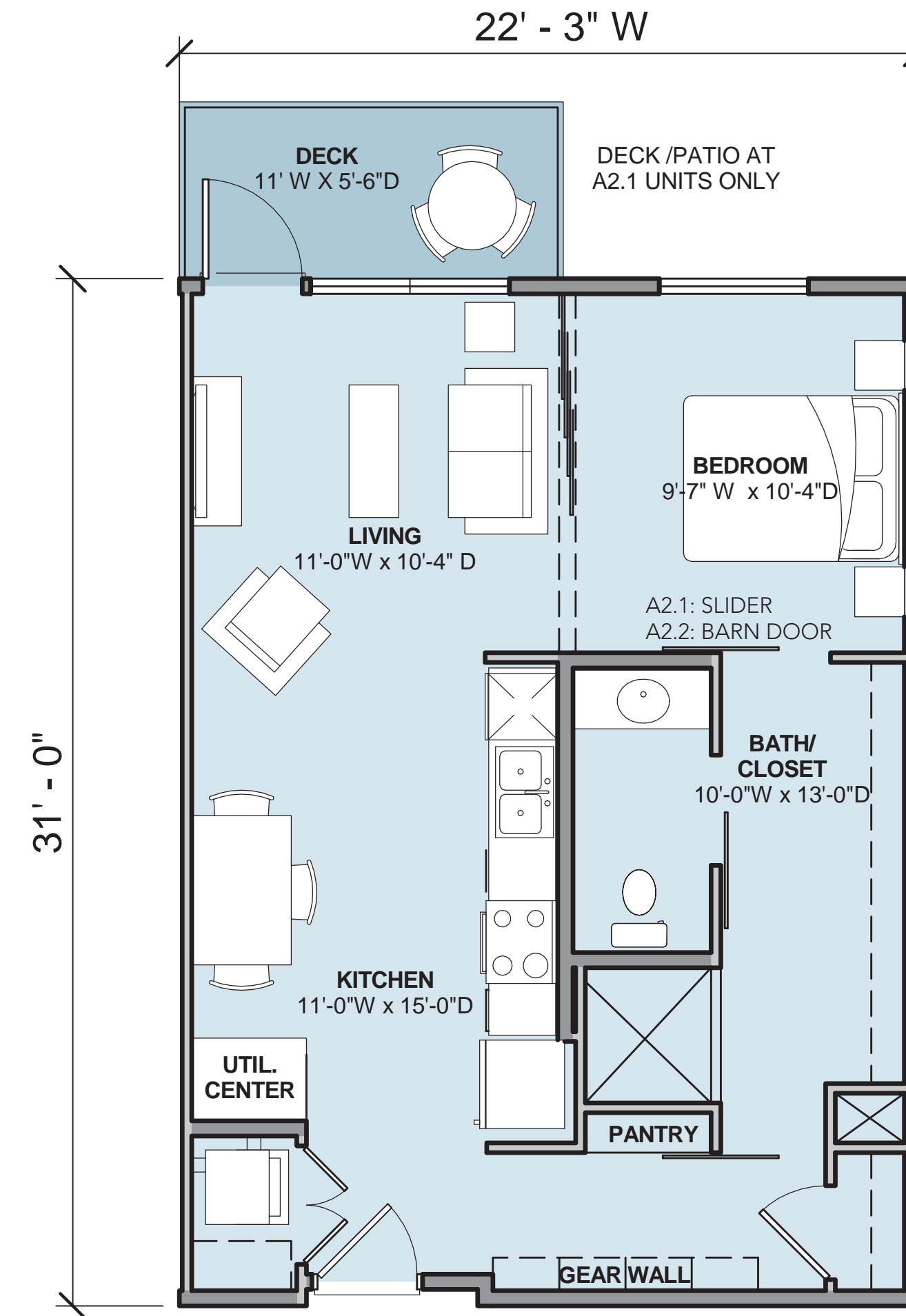
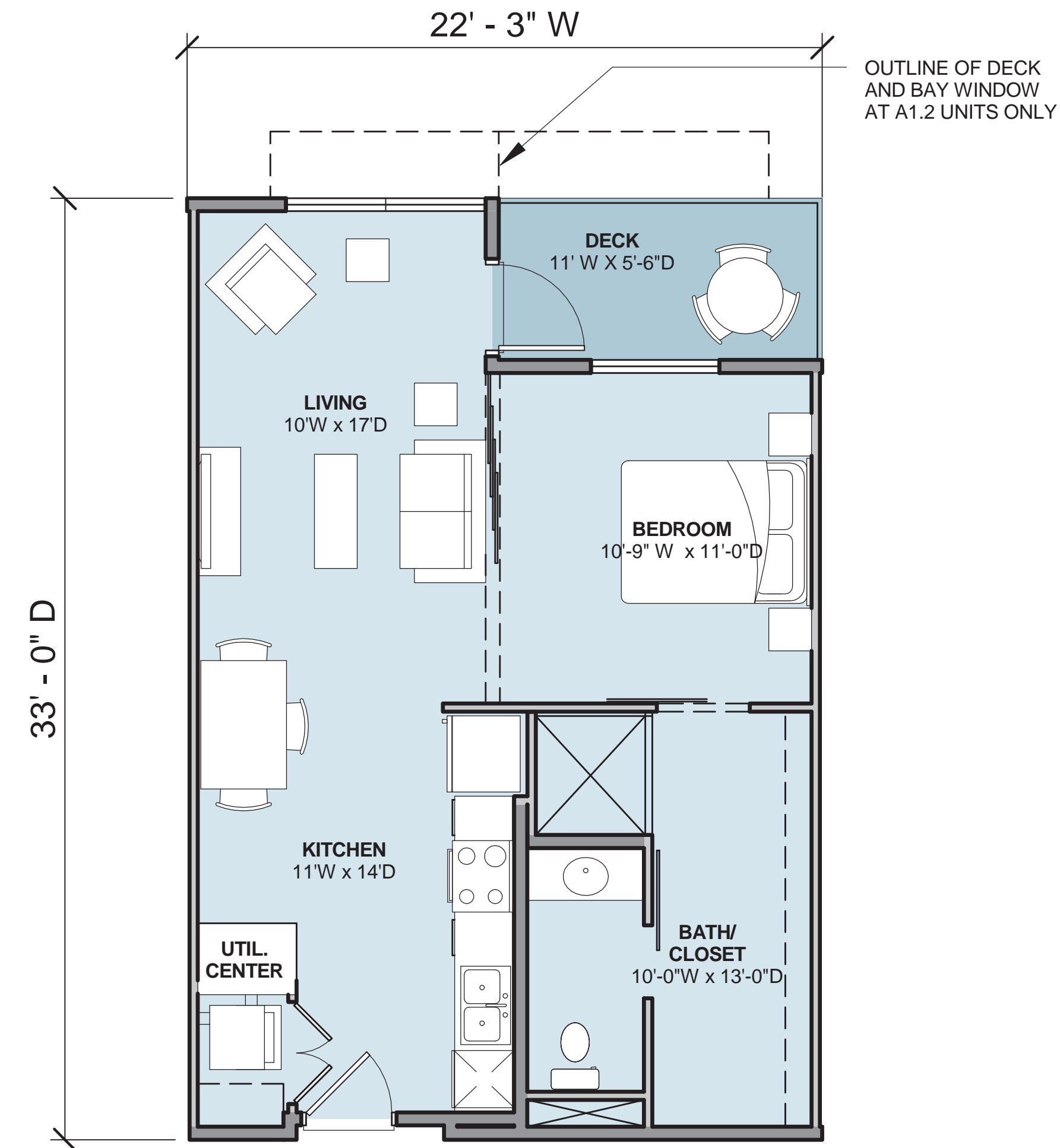
S1.2 STUDIO
510 sq.ft. (6 units)



S2 STUDIO
604 sq.ft. (3 units)



S3 STUDIO
630 sq.ft. (4 units)



A1.1 ONE BEDROOM
670 sq.ft. (10 units)

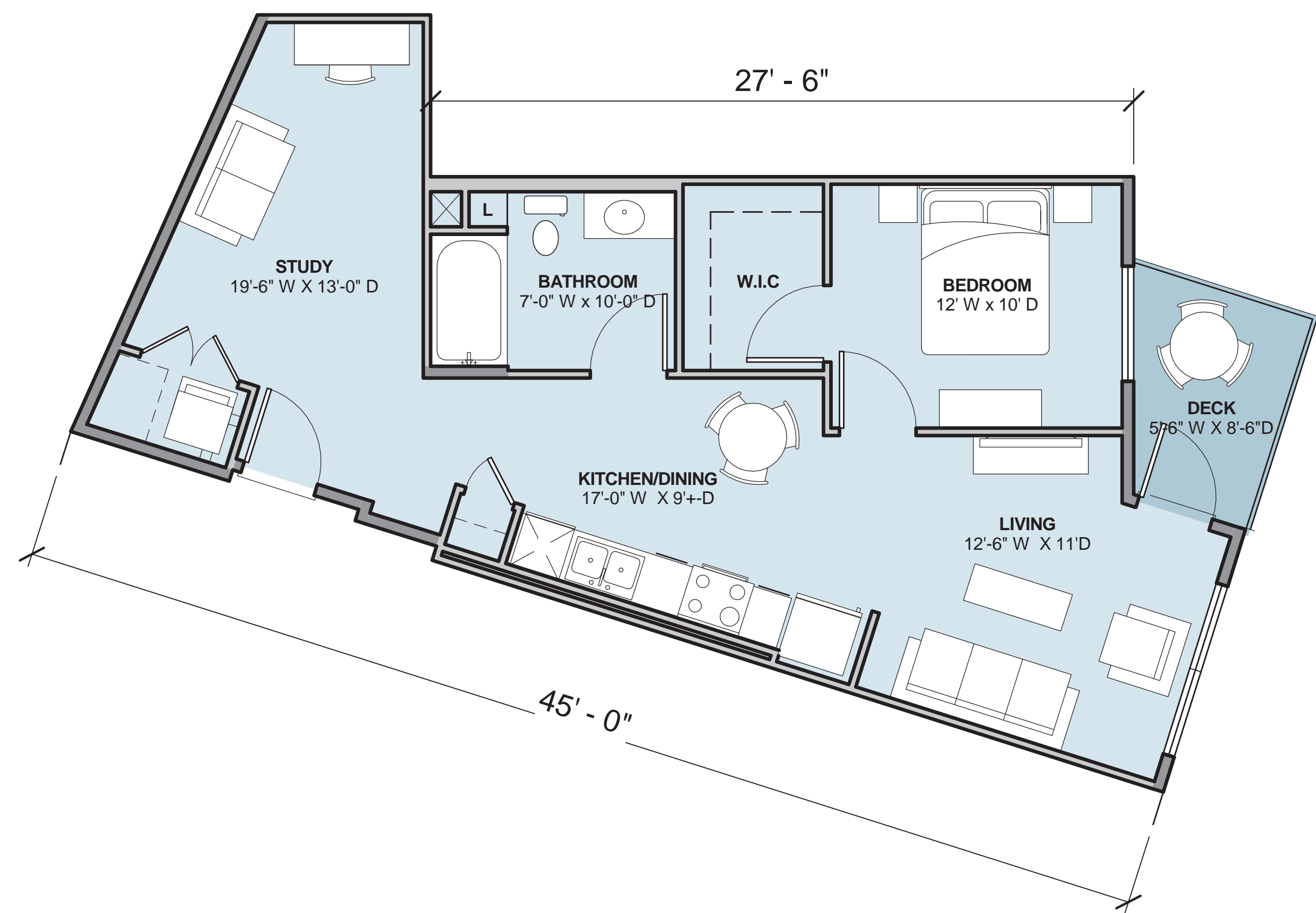
A1.2 ONE BEDROOM
690 sq.ft. (8 units)



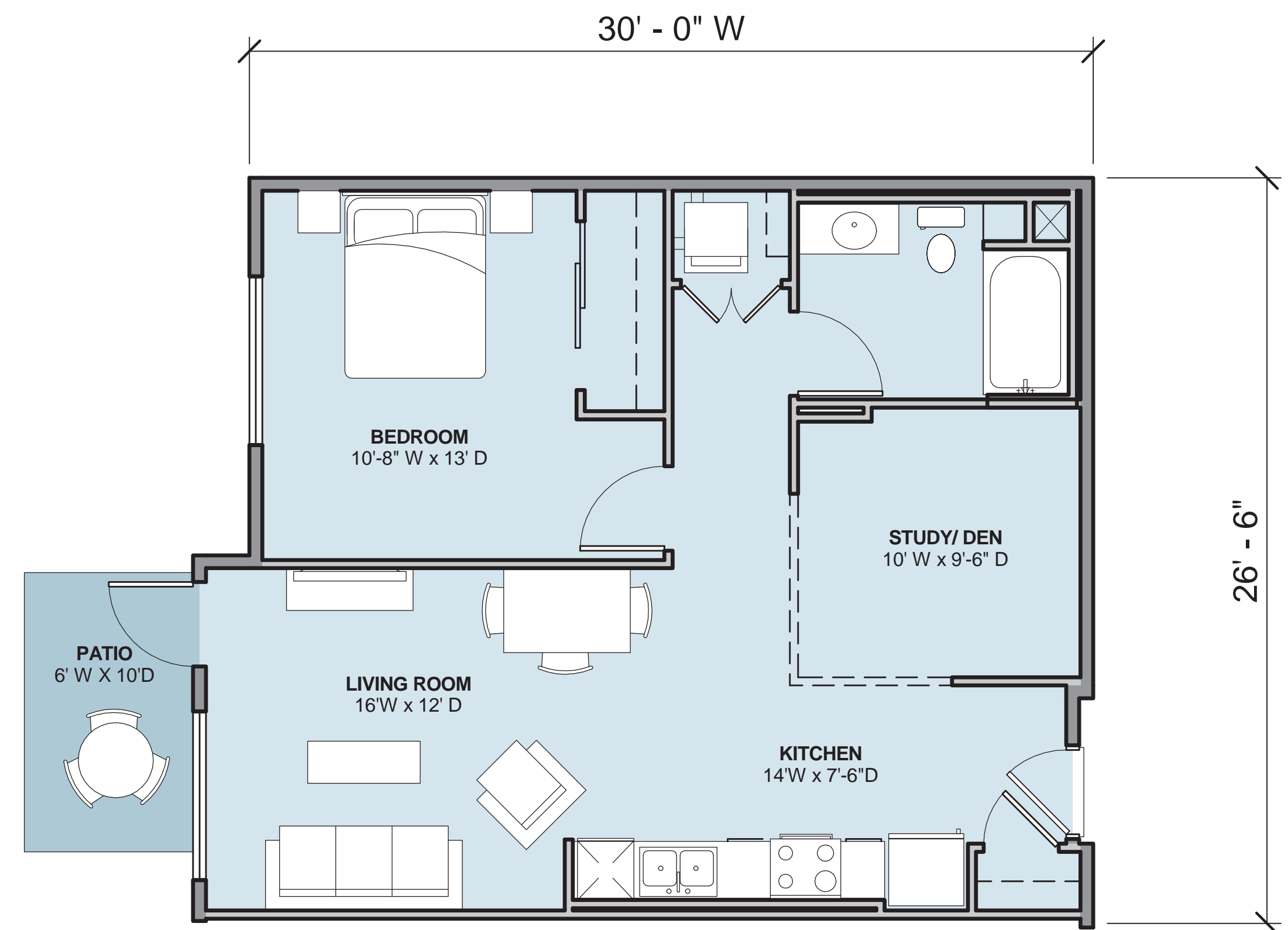
A2 ONE BEDROOM
690 sq.ft. (9 units)



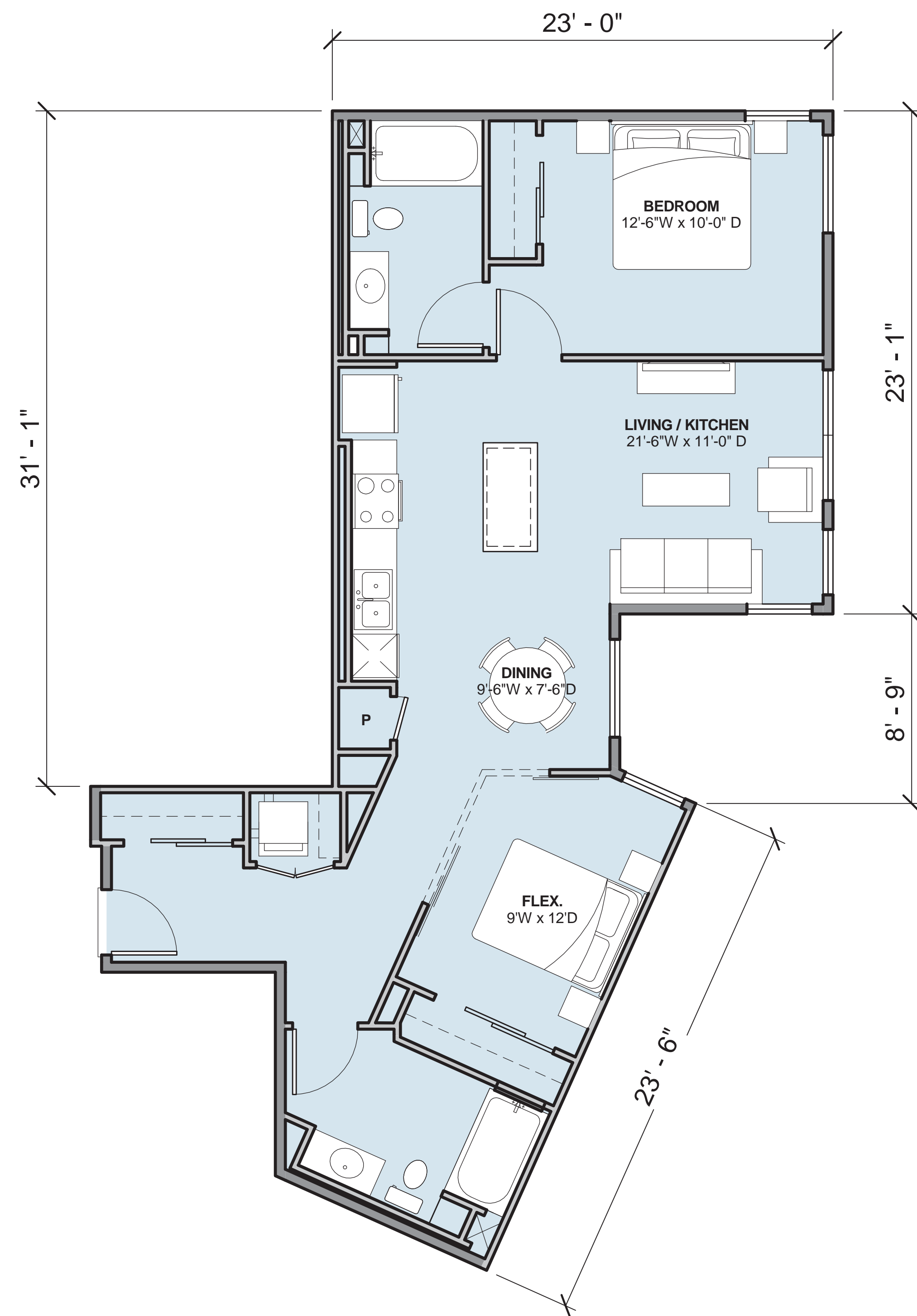
A3 ONE BEDROOM
700 sq.ft. (19 units)



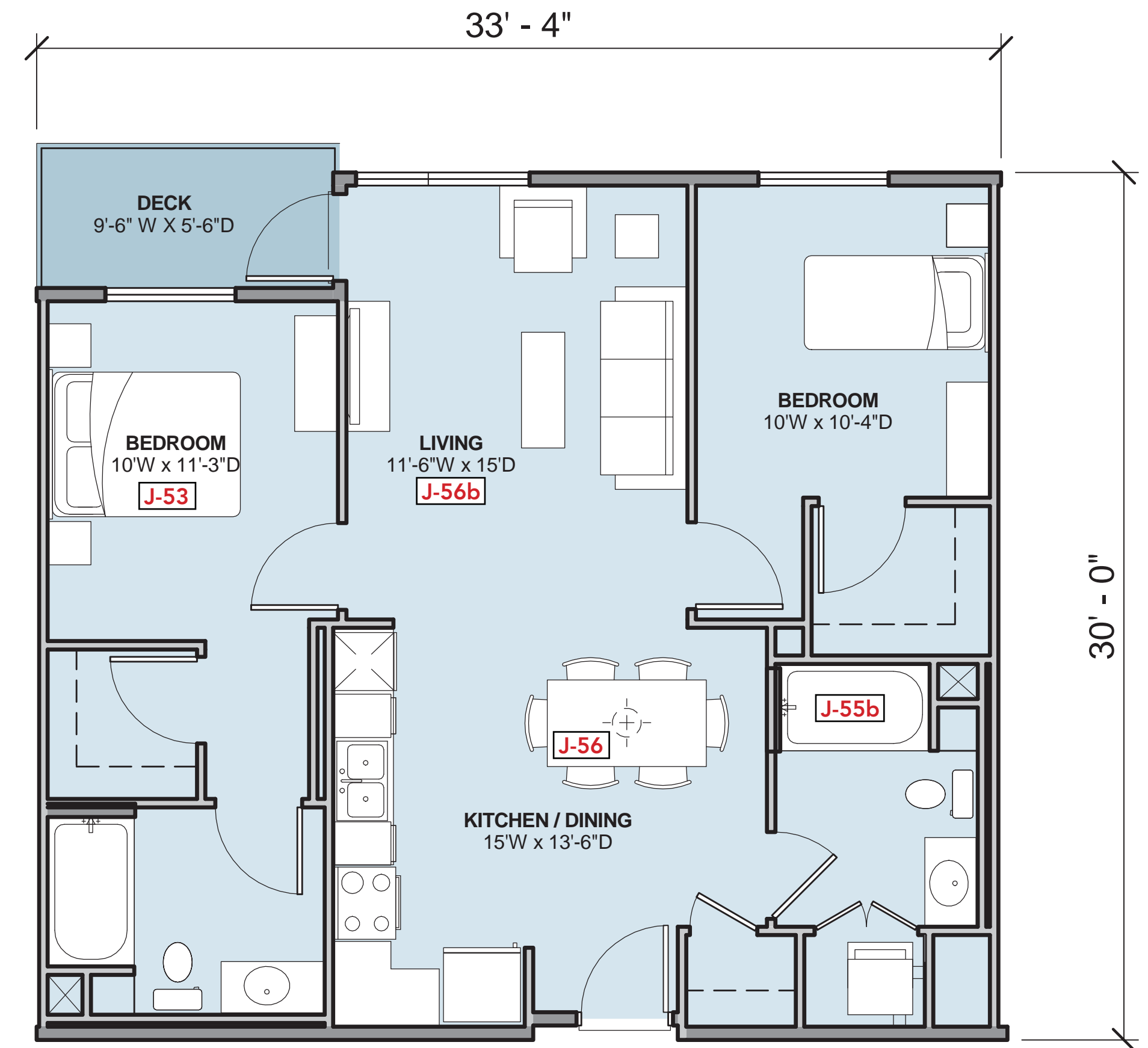
A4 ONE BEDROOM
775 sq.ft. (3 units)



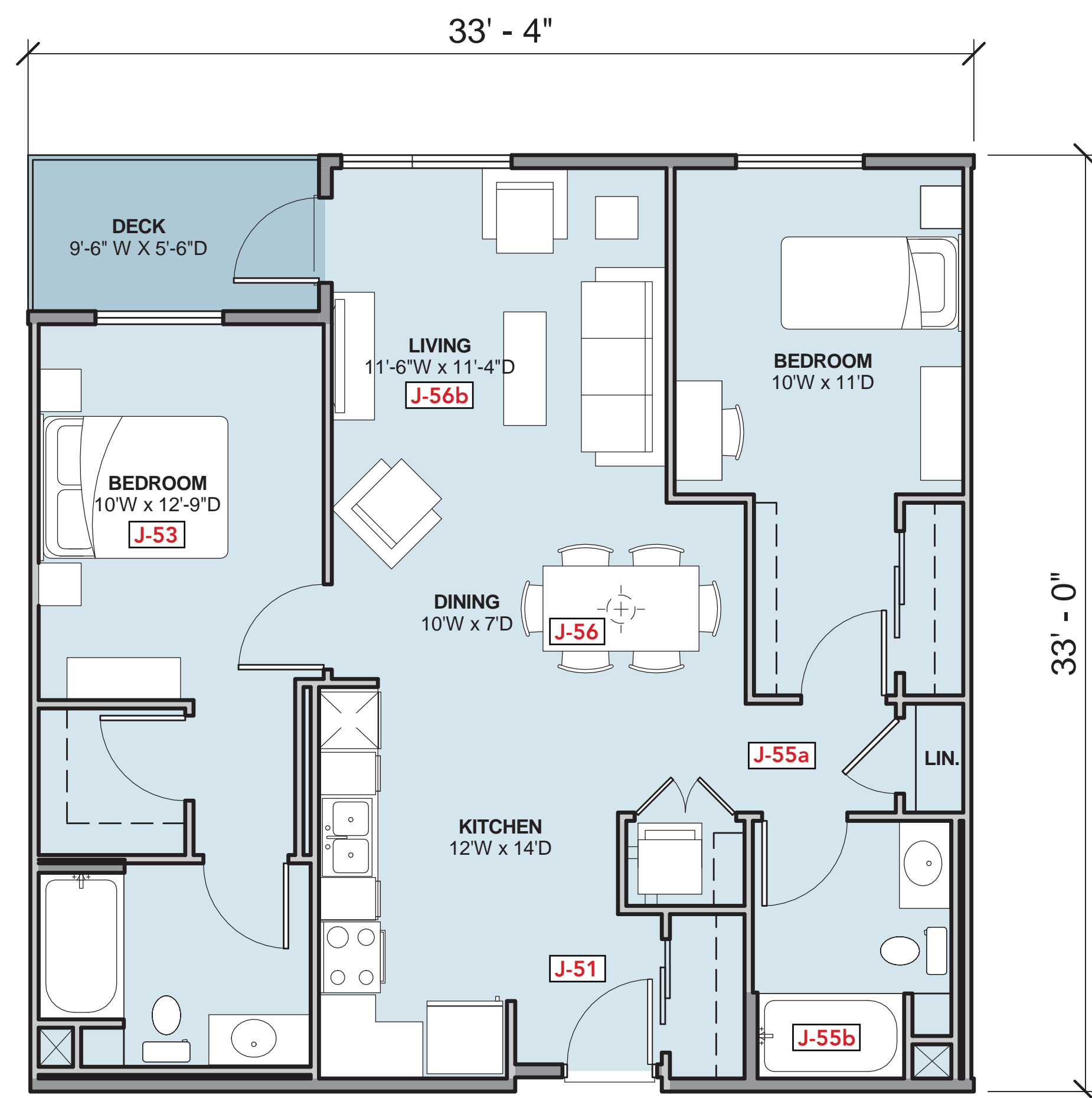
A5 ONE BEDROOM
819 sq.ft. (1 unit)



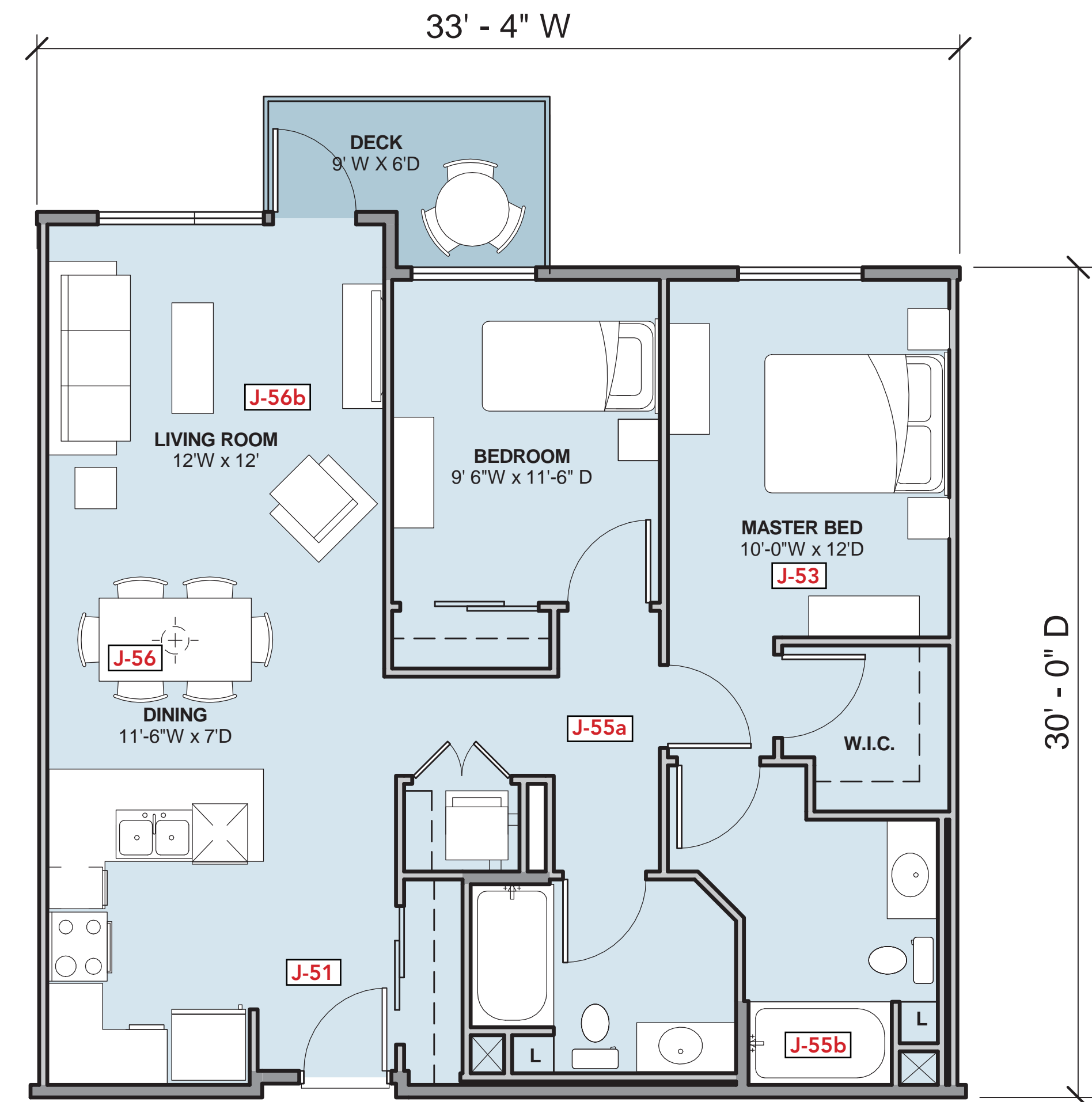
A6 ONE BEDROOM
1012 sq.ft. (2 units)



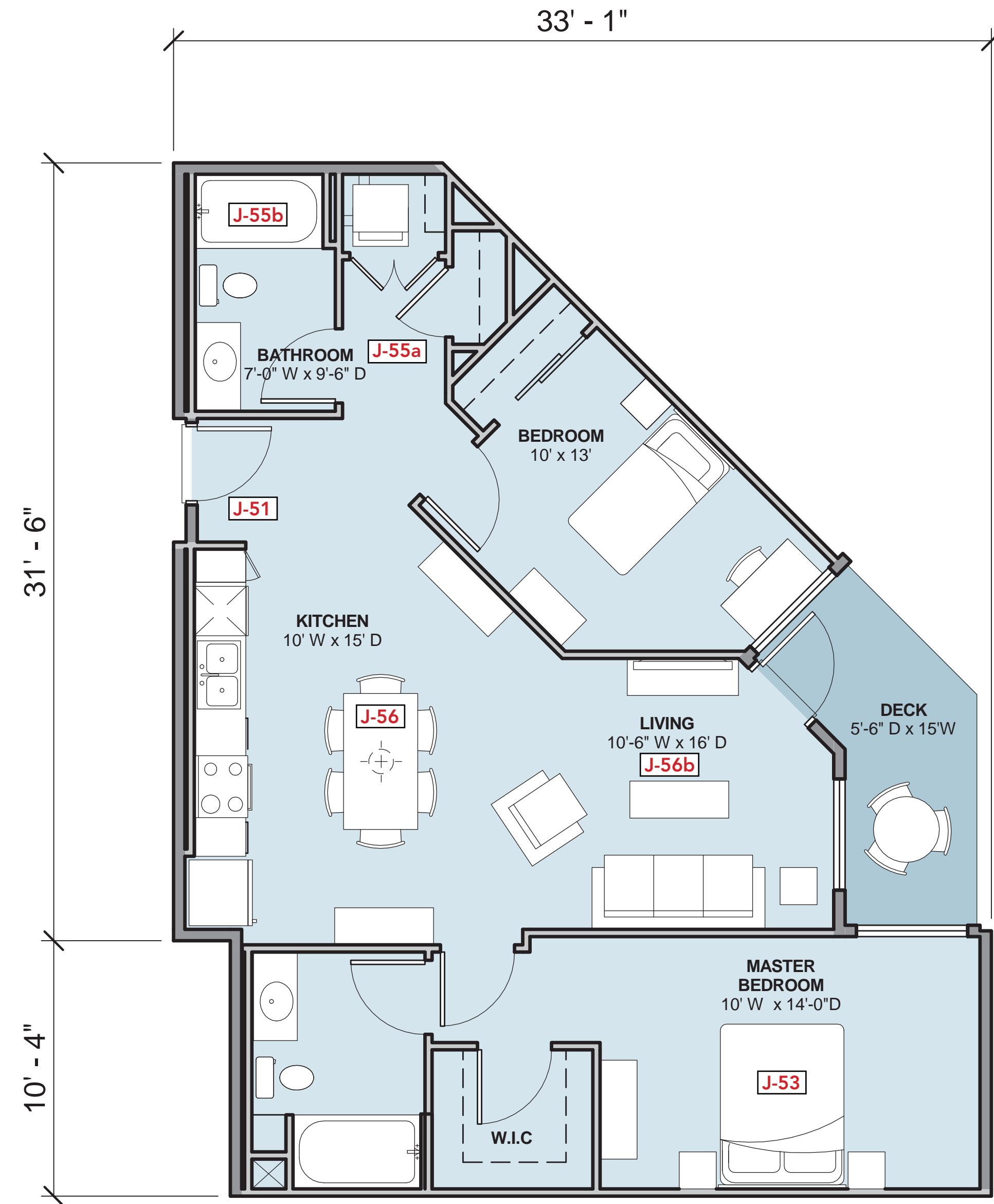
B1.1 TWO BEDROOM
950 sq.ft. (15 units)



B1.2 TWO BEDROOM
1,036 sq.ft. (6 units)



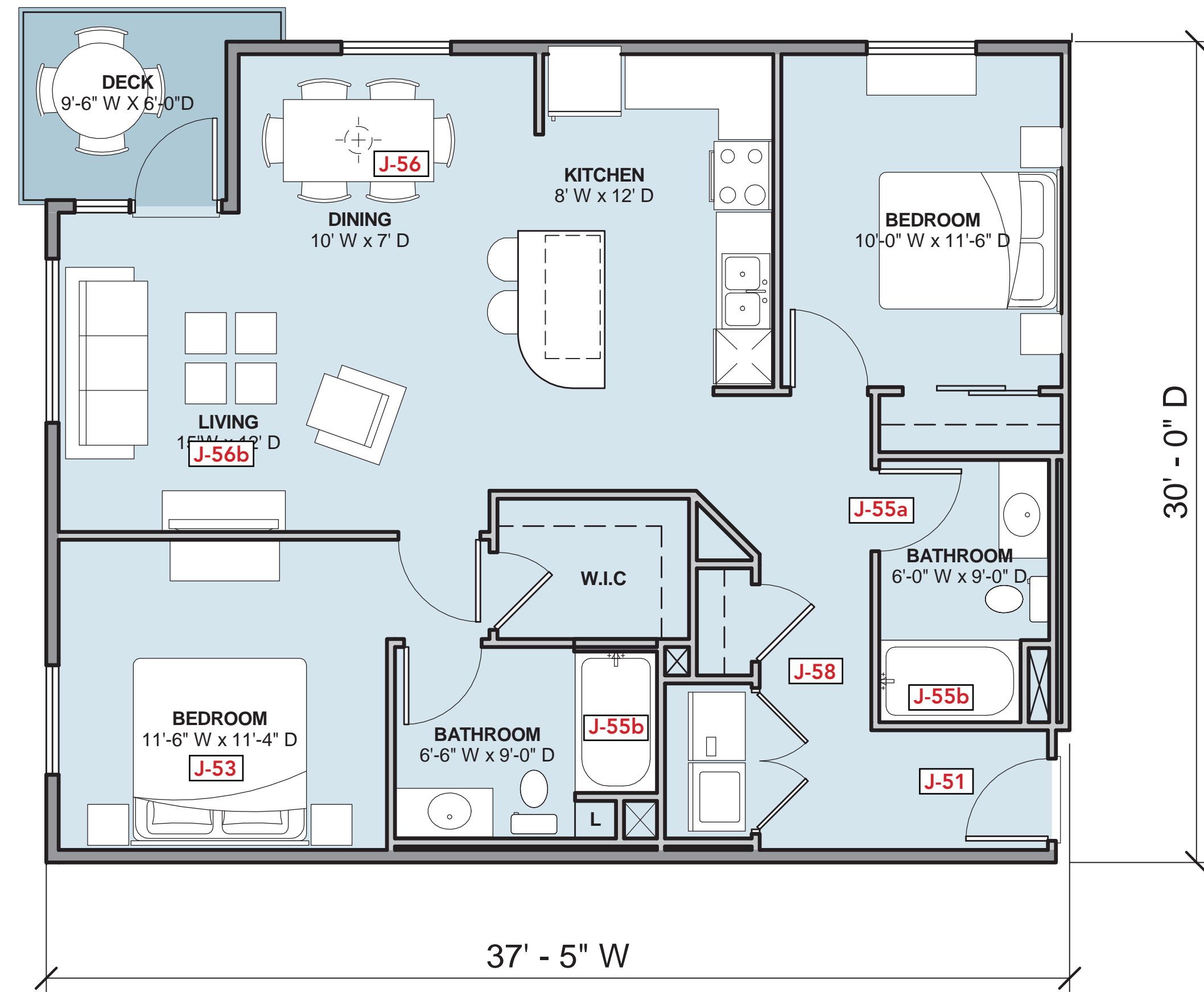
B2 TWO BEDROOM
1,018 sq.ft. (15 units)



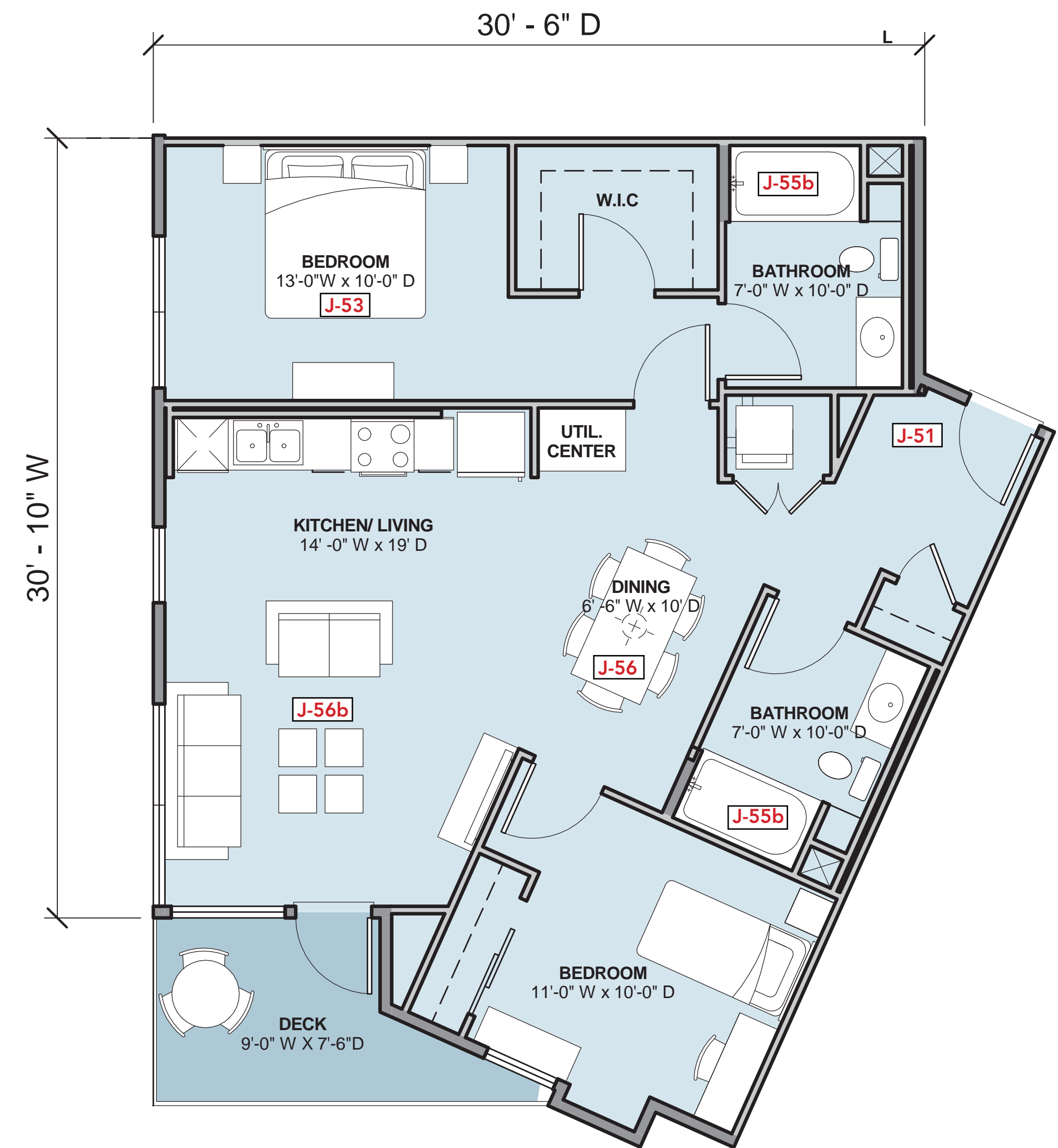
B3 TWO BEDROOM
1,032 sq.ft. (5 units)



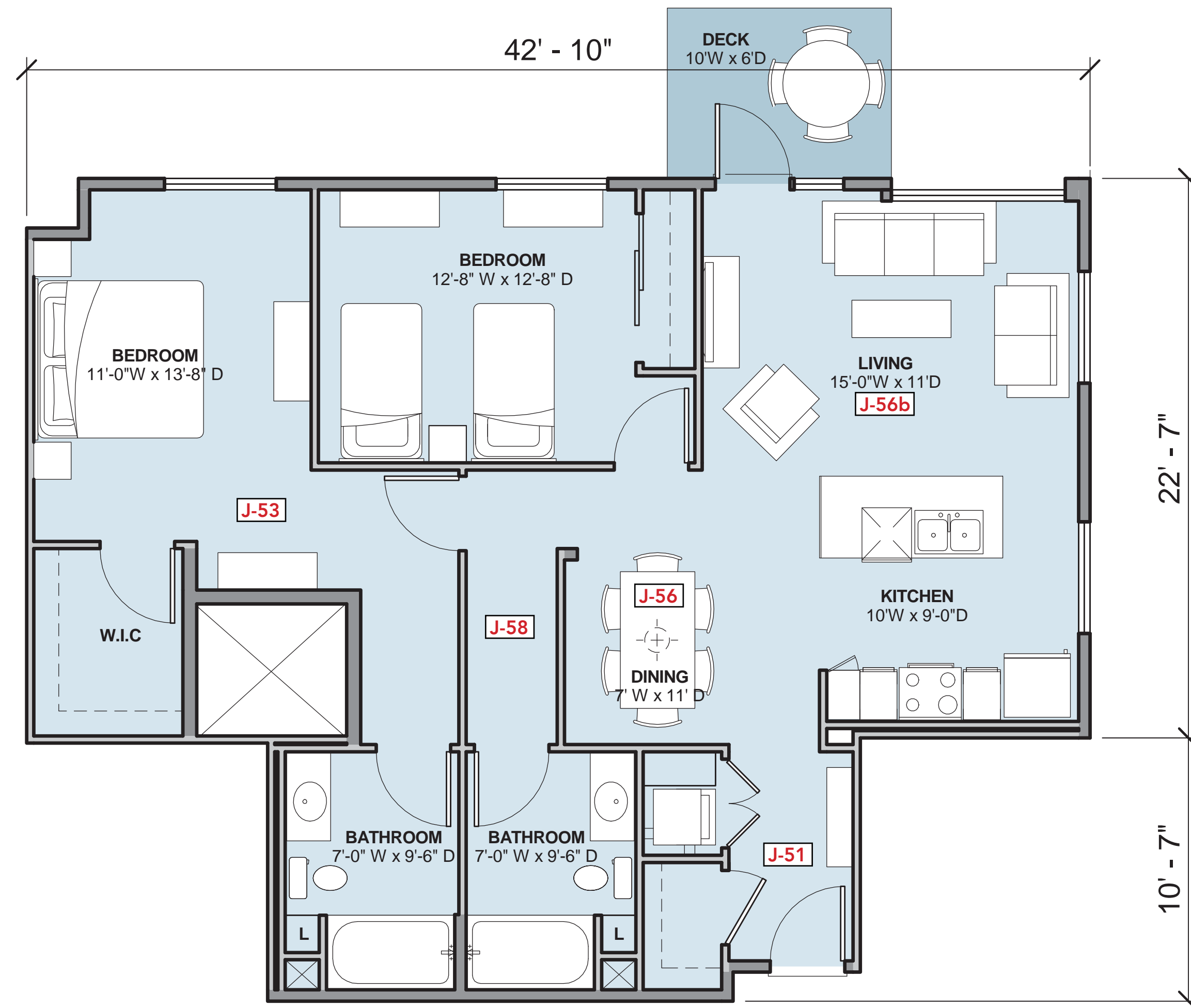
B4 TWO BEDROOM
1,088 sq.ft. (6 units)



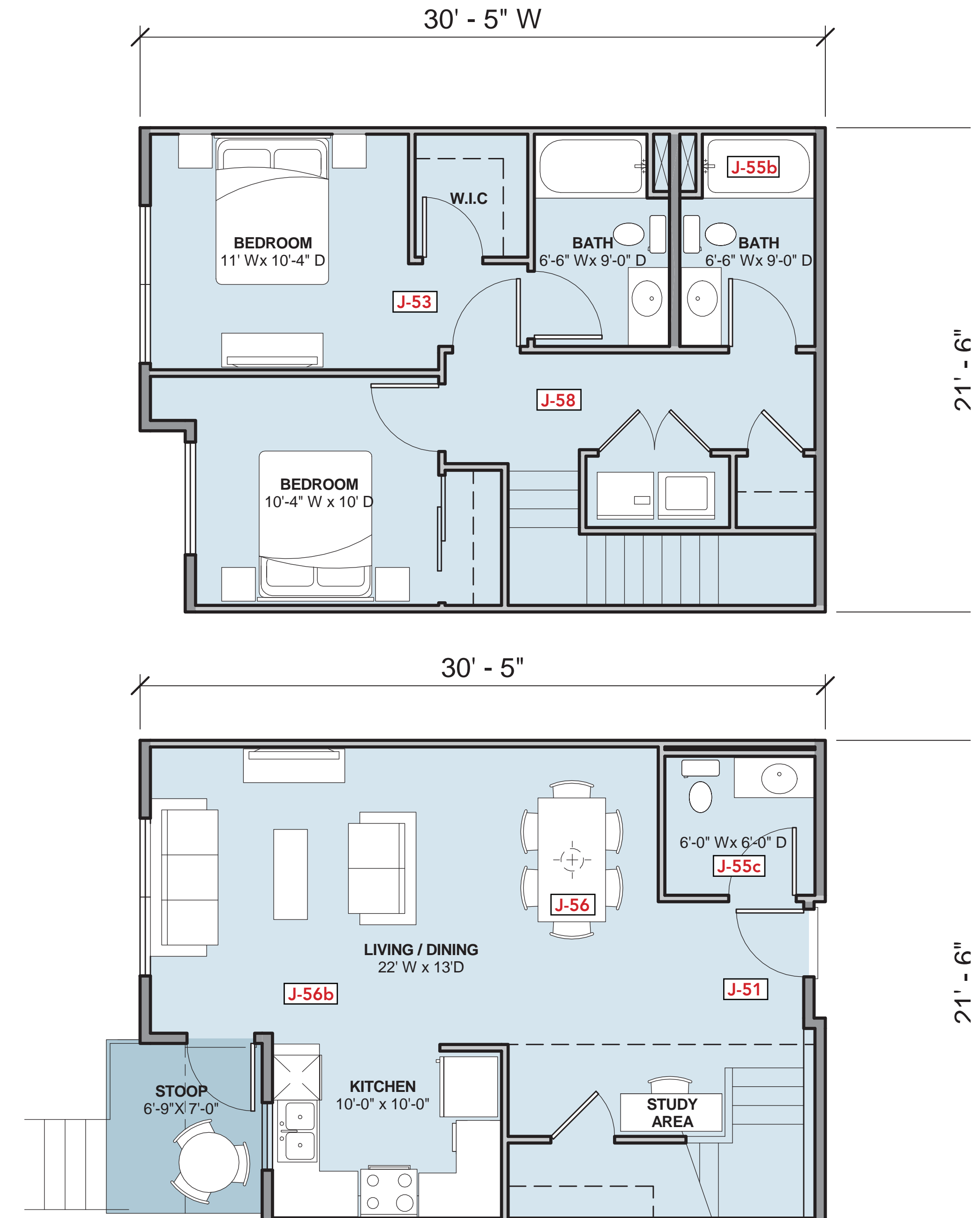
B5 TWO BEDROOM
1,090 sq.ft. (10 units)



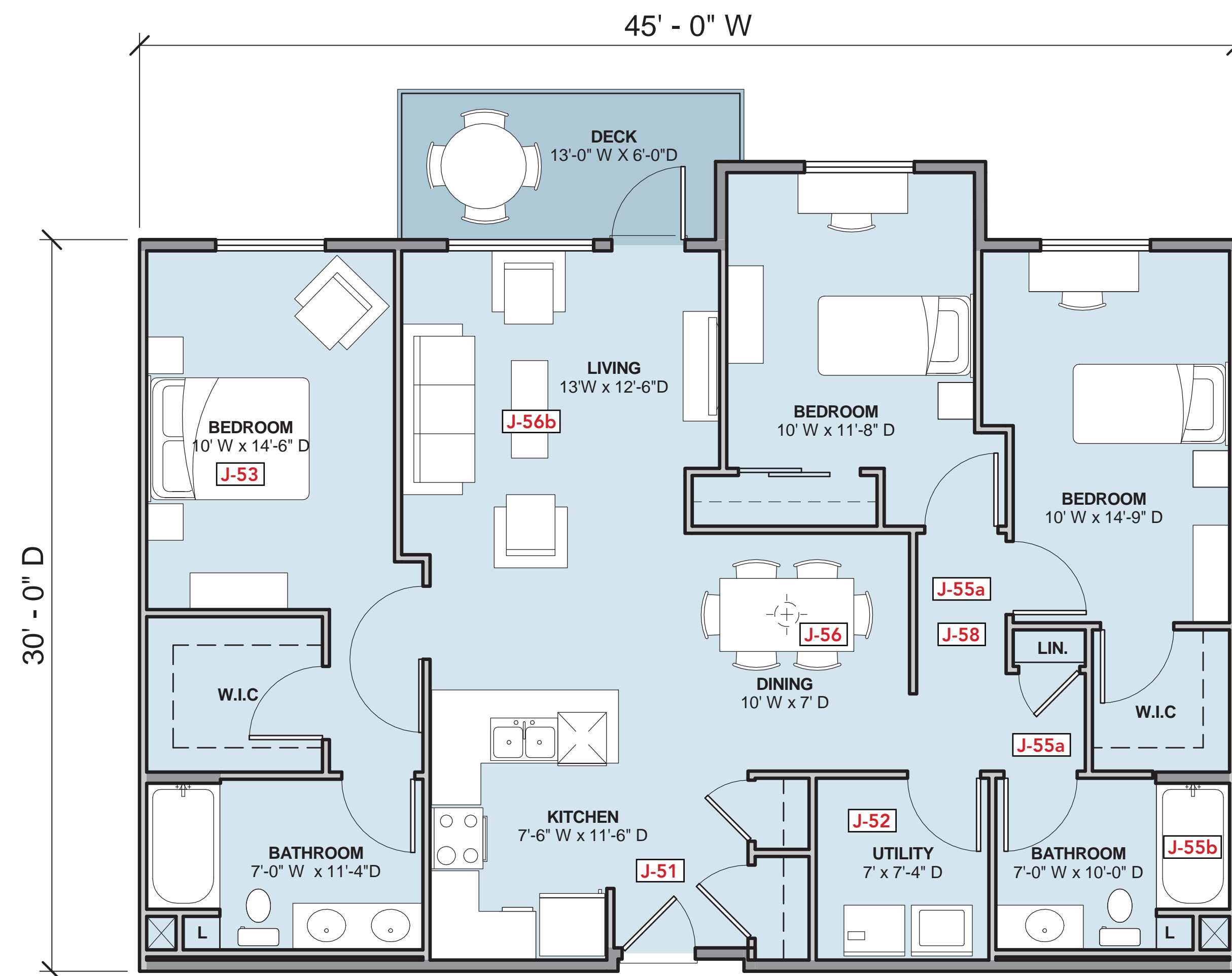
B6 TWO BEDROOM
1,080 sq.ft. (2 units)



B7 TWO BEDROOM
1,179 sq.ft. (5 units)



TH-B TWO BEDROOM
1,230 sq.ft. (5 units)



C1 THREE BEDROOM
1,386 sq.ft. (12 units)

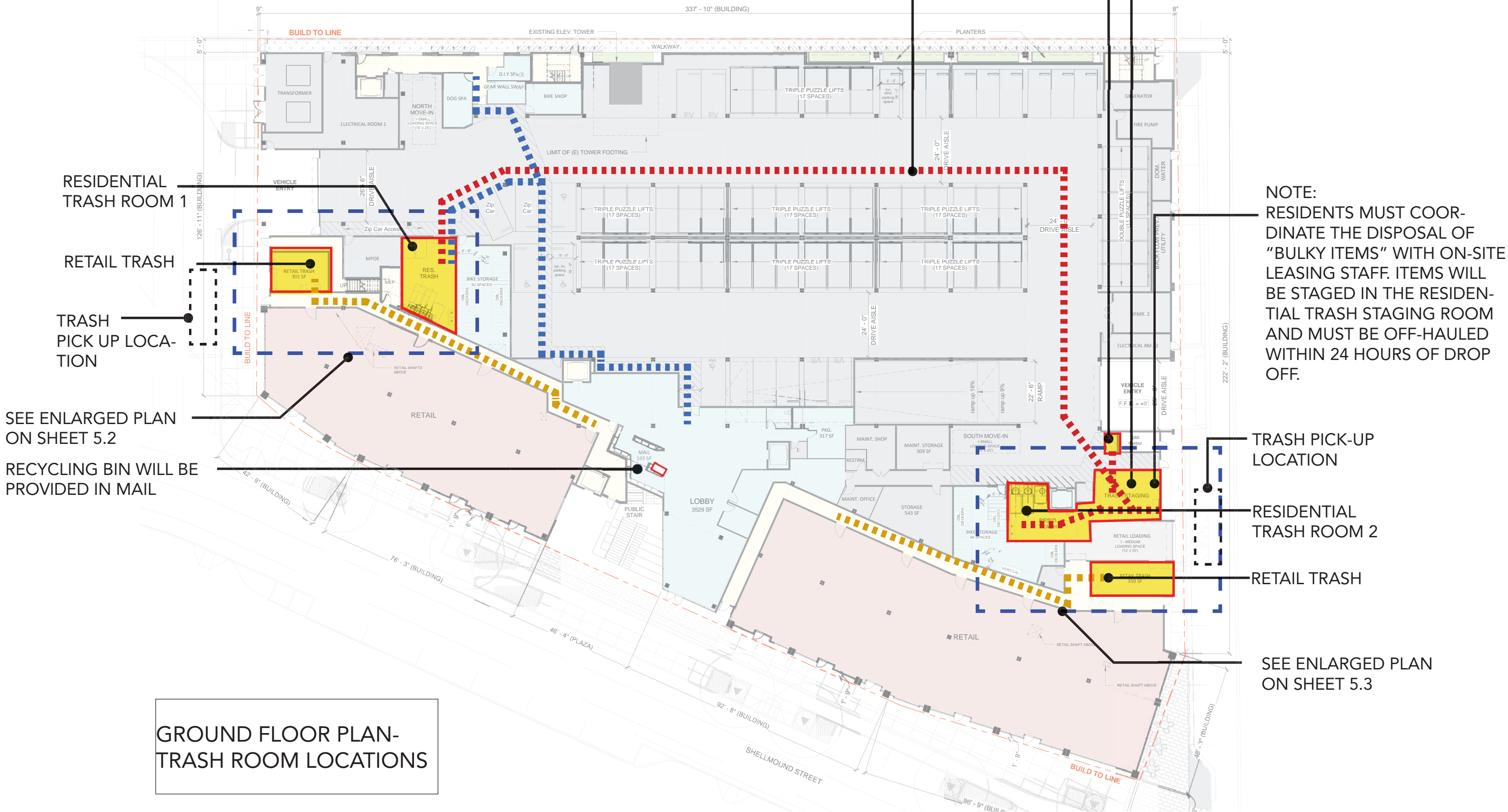


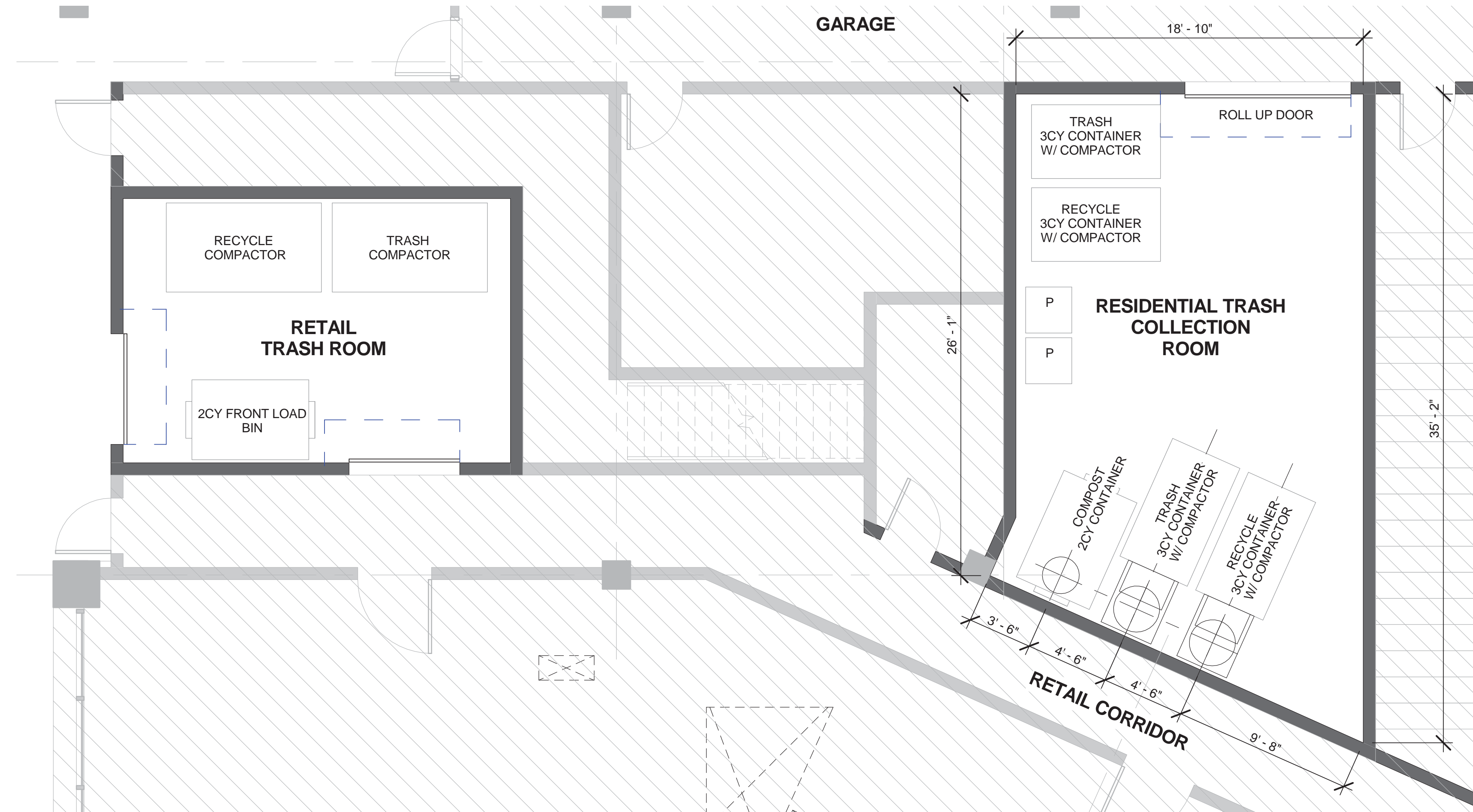
C2 THREE BEDROOM
1,415 sq.ft. (5 units)

ALL FULL TRASH BINS WILL BE PRE-STAGED FOR PICK-UP IN THESE ROOMS. BUILDING MANAGEMENT WILL COORDINATE WITH THE TRASH HAULER REGARDING THE PICK-UP, ANTICIPATED TIME TO ASSIST THE TRASH HAULER TO MOVE THE BINS FROM THE STAGING AREA TO THE TRUCK AT THAT TIME, AND THEN BACK INTO THE BUILDING AT THE TIME OF TRASH PICK-UP. THE BINS WILL NOT BE STAGED IN THE PUBLIC RIGHT OF WAY.

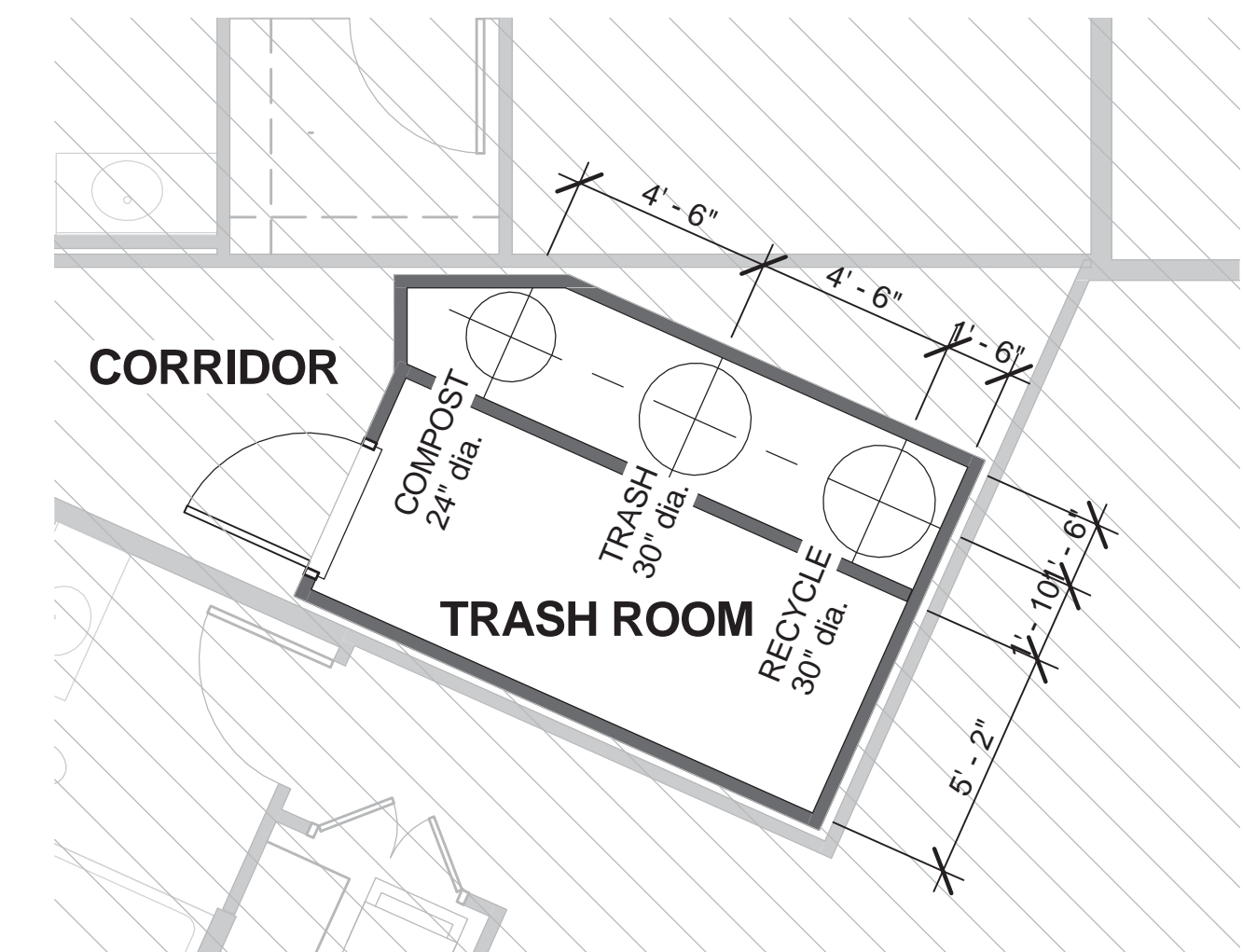
FULL BINS WILL BE TRANSPORTED BY MANAGEMENT OR OUTSIDE SERVICE COMPANY ALONG THIS PATH TO THE PRE-STAGING AREA

E. WASTE

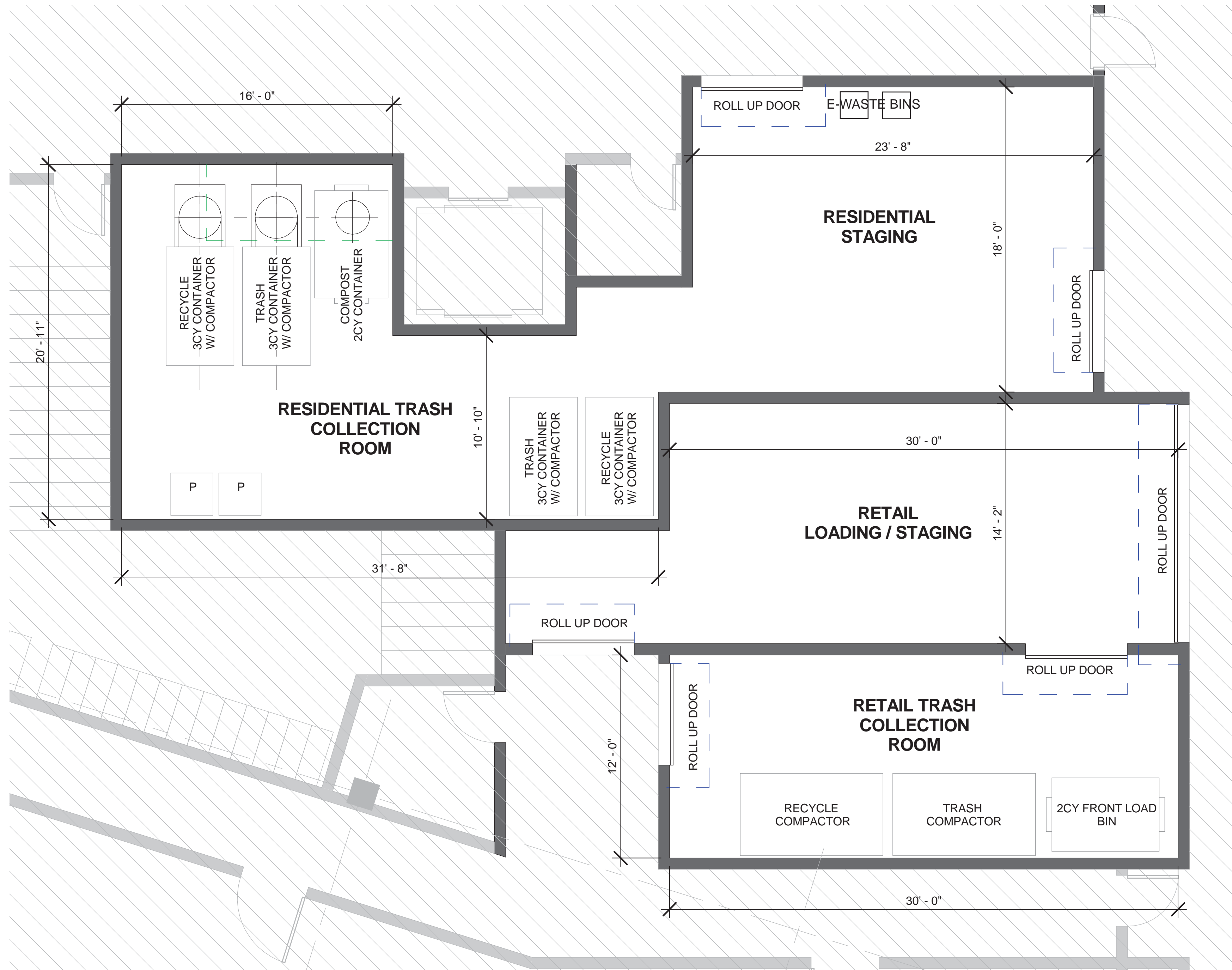




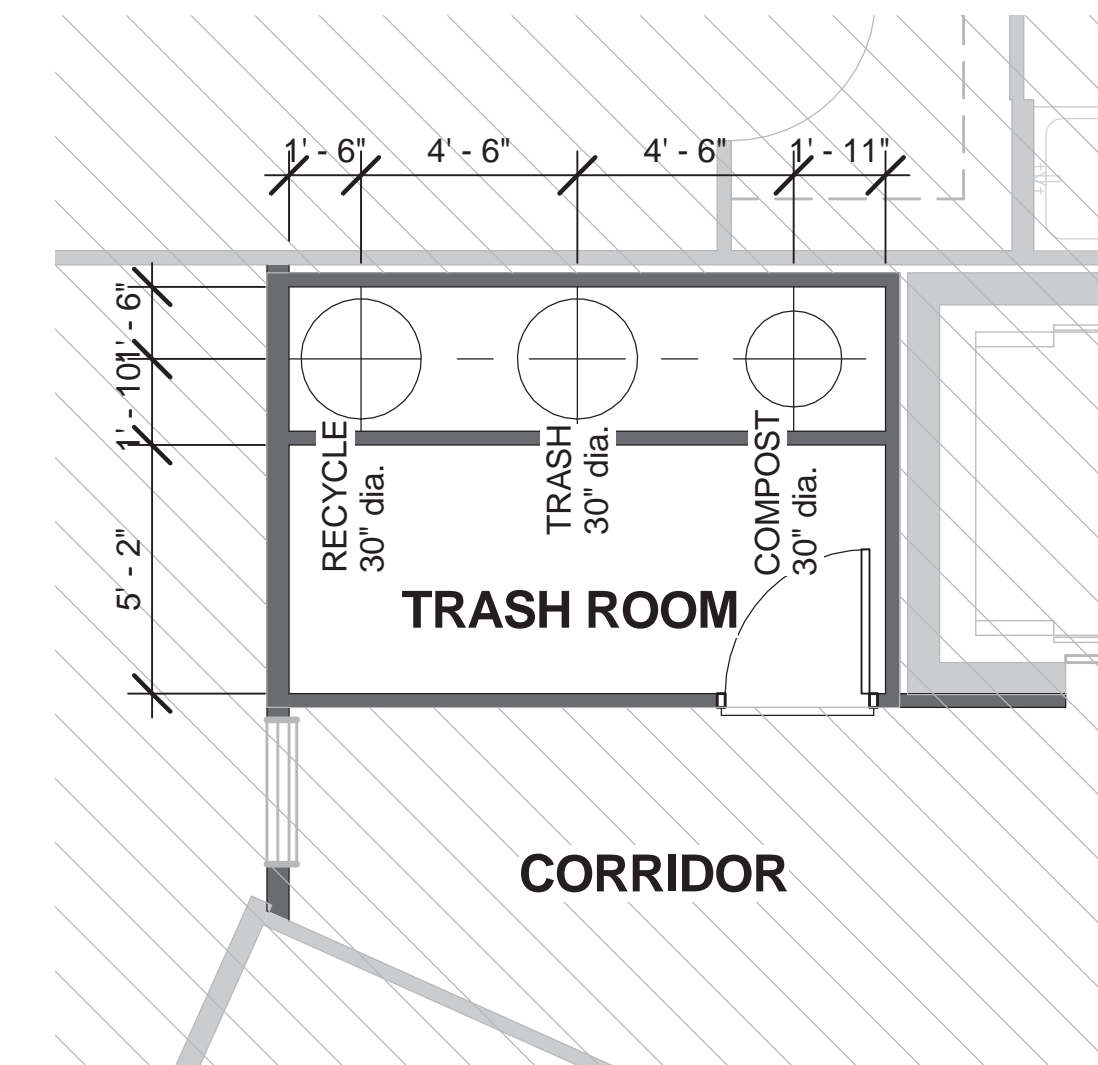
GROUND FLOOR - TRASH ROOM 1



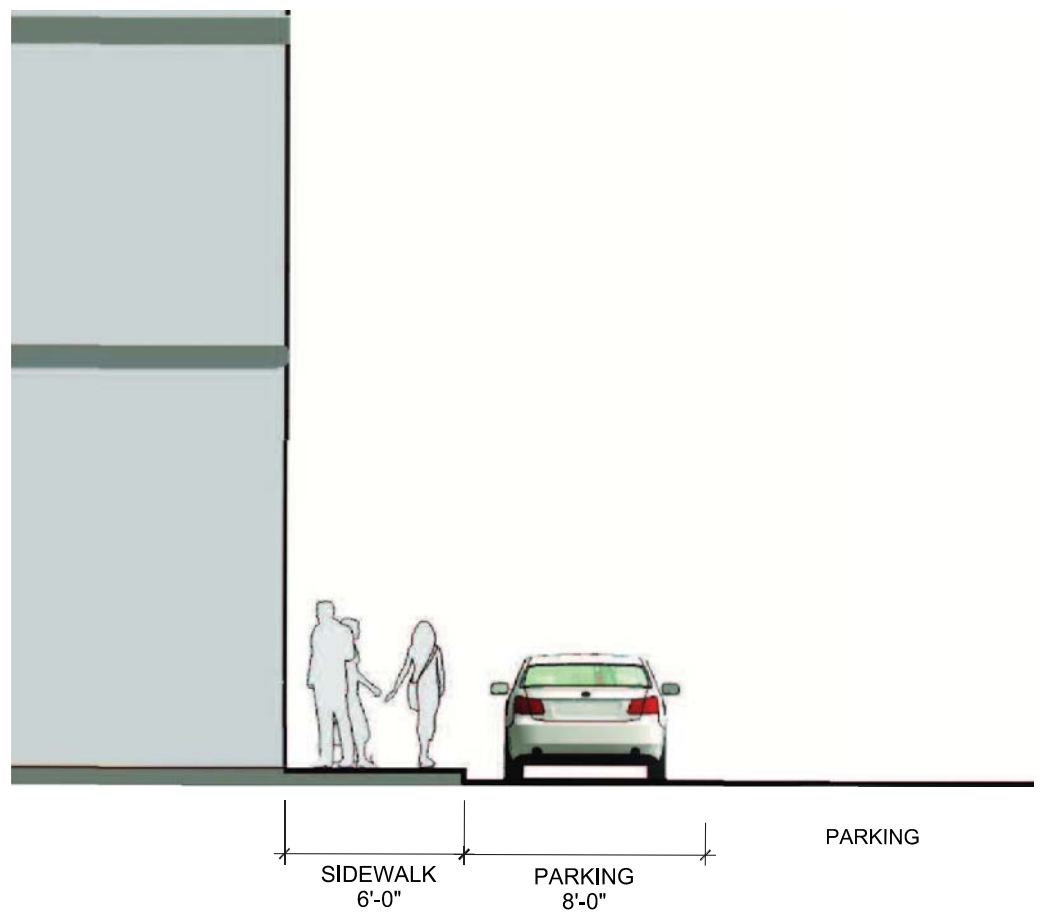
RESIDENTIAL FLOOR - TRASH ROOM 1



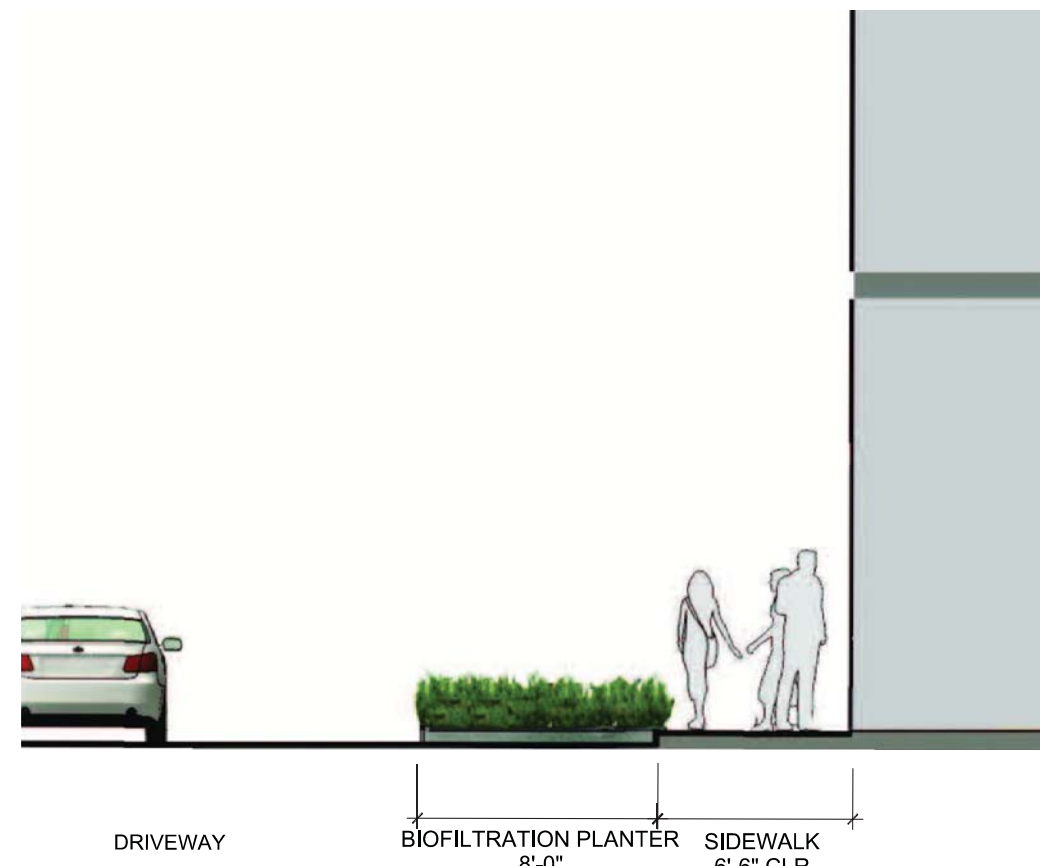
GROUND FLOOR - TRASH ROOM 2



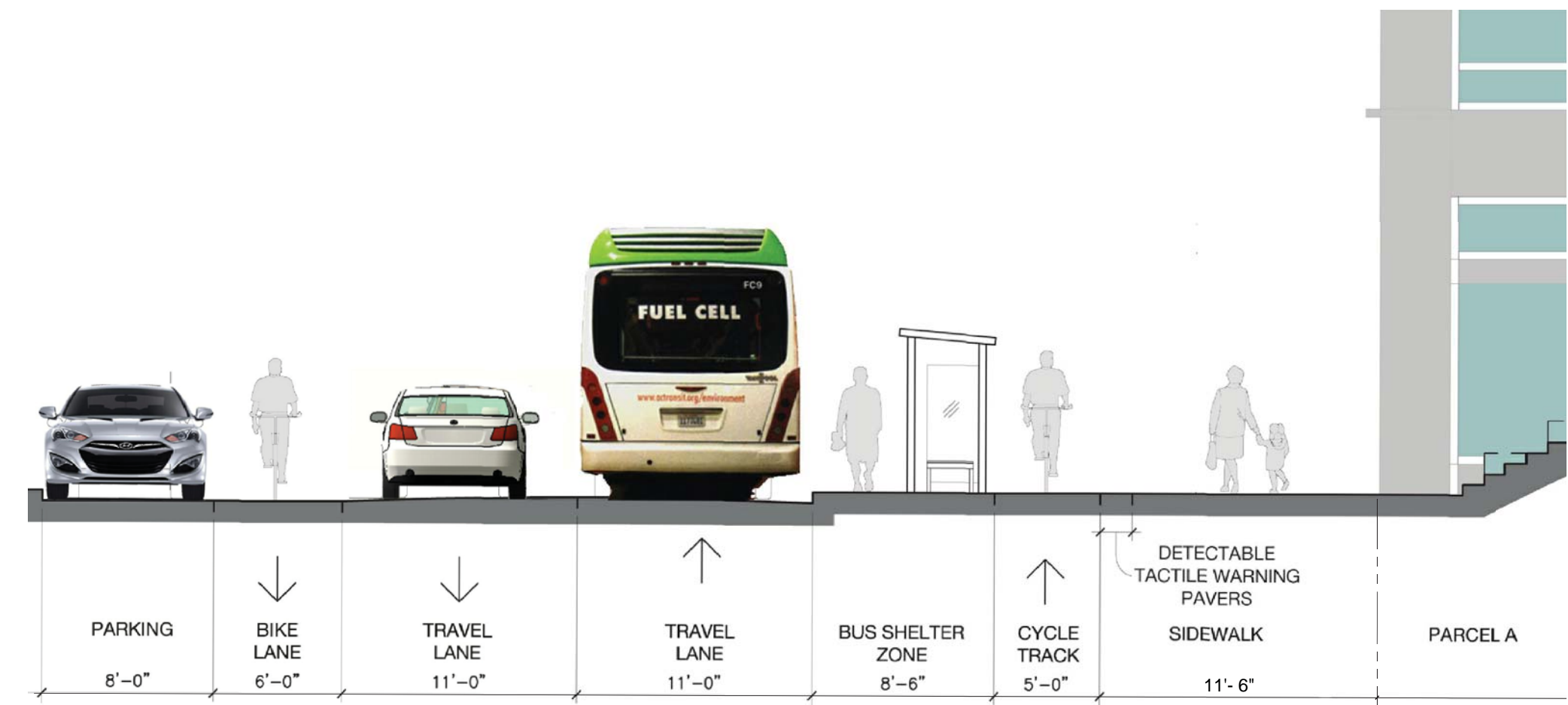
RESIDENTIAL FLOOR - TRASH ROOM 2



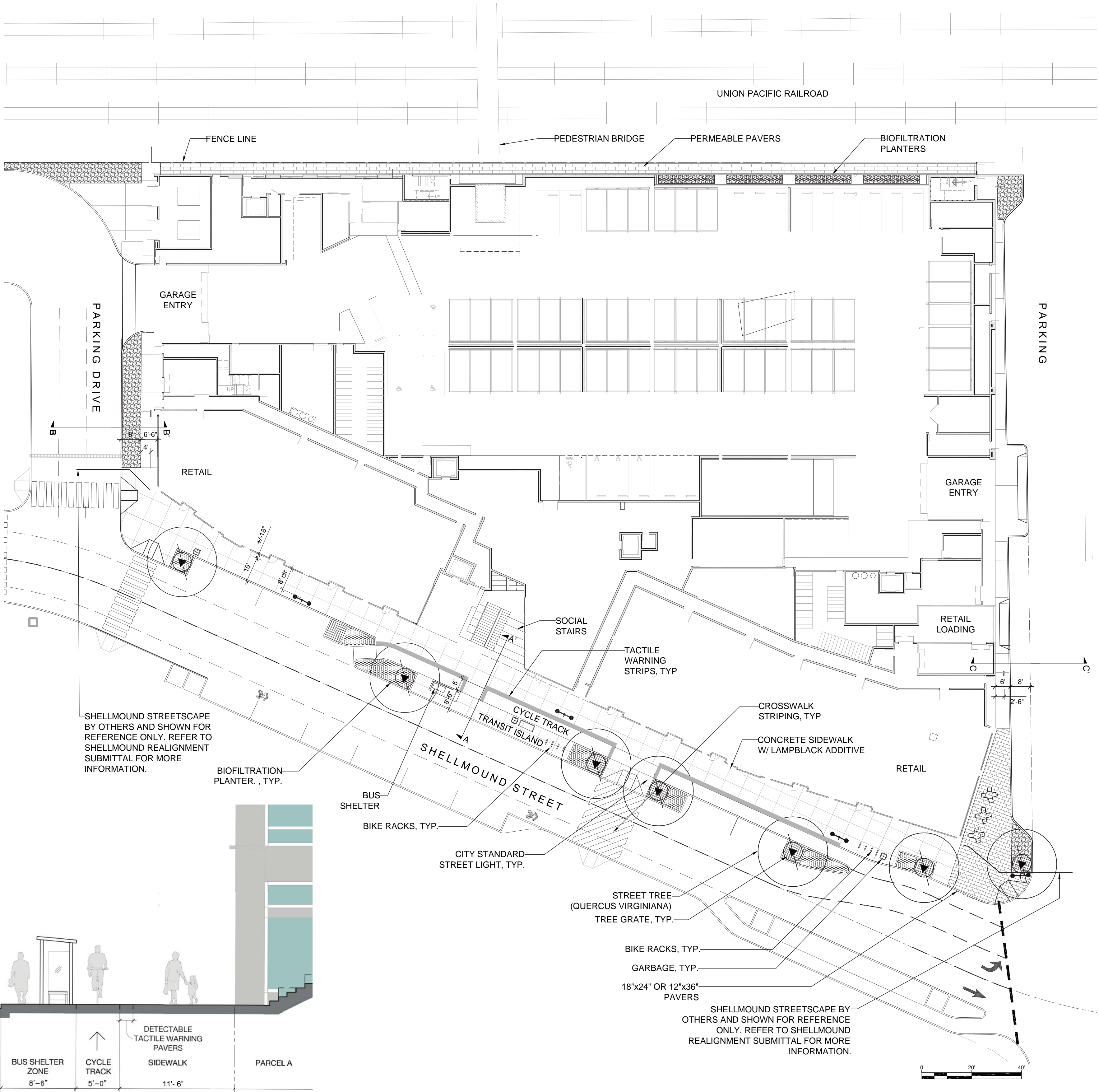
ELEVATION C AT PARKING (SOUTH OF SITE)
SCALE: NTS



ELEVATION B AT PARKING DRIVE (NORTH OF SITE)
SCALE: NTS



ELEVATION A AT SHELLMOUND STREETSCAPE
SCALE: NTS



MATERIALS SCHEDULE				
ITEM	SYMBOL	DESCRIPTION	NOTES	
PAVING		POURED-IN-PLACE CONCRETE, SIDEWALK WITH LAMPBLACK ADDITIVE, MEDIUM EXPOSED FINISH. SAW-CUT SCORE PATTERN T.B.D.		
SIDEWALK		CLAY BRICK, SET IN SAND ON CONCRETE SUB-BASE.		
SIDEWALK ACCENT PAVING		ELASTOMERIC PAINT STRIPING (WHITE)		
CROSSWALK		RAW STEEL TREE GRATE BY URBAN ACCESSORIES, 4'x6'		
TREE GRATE		PROPOSED FEATURE PAVING		
FEATURE PAVING		DOUBLE HEAD, 20' POLE OR T.B.D., MATCH EXISTING EMERYVILLE STREET LIGHT, PAINTED BLACK		
SITE LIGHTING		STREET LIGHT		
SITE FURNISHINGS		BIKE RACK		
BIKE RACK		SOLID CAST ALUMINUM POWDERCOAT FINISH, SURFACE MOUNT, OLYMPIA BY FORMS+SURFACES (OR APPROVED EQUAL), ORIENT FOR PARKING PARALLEL TO SIDEWALK, IF 8' WIDTH.		
TRASH + RECYCLING		36 GALLON, SURFACE MOUNTING, ANTI-GRAFFITI FINISH, SOLID CAST ALUMINUM WITH POWDERCOAT FINISH, APEX BY FORMS+SURFACES (OR APPROVED EQUAL)		
BENCH		METAL BENCH, CAST ALUMINUM POWDERCOAT FINISH, COLOR 'BLACK', EMBEDDED OR SURFACE MOUNT, KNIGHT BENCH BY FORMS+SURFACES		

PLANTER SCHEDULE									
SYMBOL	HYDROZONE	CATEGORY	BOTANICAL NAME	BOTANICAL NAME	QUANTITY	SIZE	WUCOLS	IRRIGATION	
TREES									
		SHELLMOUND STREET TREE	QUERCUS VIRGINIANA 'LEGACY'	LEGACY SOUTHERN LIVE OAK	6	60" BOX STANDARD	LOW		
PLANTERS									
		BIOFILTRATION 1	JUNCUS EFFUSUS 'QUARTZ CREEK'	SOFT RUSH 'QUARTZ CREEK'		1 GAL., 2" SPACING	LOW		
			35% - PHORMIUM 'AMAZING RED'	AMAZING RED FLAX		5 GAL., 3" SPACING	MEDIUM		
		IN-GRADE	35% - LOMANDRA LONGIFOLIA 'BREEZE'	MATT RUSH 'BREEZE'		1 GAL., 2" SPACING	LOW-MEDIUM		
			35% - CHONDROPETALUM ELEPHANTINUM	LARGE CAPE RUSH		5 GAL. @ 4" O.C.	LOW-MEDIUM		
	1	BIOFILTRATION 2	JUNCUS EFFUSUS 'QUARTZ CREEK'	SOFT RUSH CAPE RUSH	660 FT²	1-5 GAL.	MODERATE	DRIP	

GENERAL NOTES:

- DESIGN SHALL MEET ALL APPLICABLE STATE AND LOCAL CODES.
- SEE CIVIL PLANS FOR GRADES, STORMWATER MANAGEMENT, AND ADA PATH OF TRAVEL.
- LIGHTING TO BE LOW LEVEL AND DARK SKY COMPLIANT.
- VERIFY EXISTING SITE INFORMATION, INCLUDING GRADES, UTILITIES, PROPERTY LINES, SETBACKS, EASEMENTS, LIMITS OF ROADWAYS, CURBS AND GUTTERS.
- ALL MATERIALS, FINISHES, MANUFACTURED ITEMS AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MOST STRINGENT.
- PROVIDE CONSTRUCTION BARRIERS AS REQUIRED. PROTECT ADJACENT PROPERTY.
- SCALE APPLIES TO FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.

PLANTING & WATER USE NOTES:

- ALL PLANT GROUPS ARE DESIGNED FOR LOW TO MODERATE WATER USE, AND LAID OUT BY WATER ZONES DEPENDING ON WATER NEEDS. ALL PLANTING IS WATERED BY DRIP, BUBBLERS OR SUB-SURFACE IRRIGATION.
- ALL GROUND COVER PLANTING AREAS ARE EXPECTED TO UNIFORMLY COVER THE PLANTING AREA IN TWO (2) YEARS. ALL SHRUB PLANTING AREAS ARE EXPECTED TO UNIFORMLY COVER THE PLANTING AREA IN FIVE (5) YEARS.
- ALL NEW PLANTING AREA SHALL HAVE A MINIMUM OF 3" DEPTH LAYER OF ORGANIC MULCH APPLIED. STABILIZING MULCH PRODUCTS SHALL BE APPLIED TO SLOPES OF 3 TO 1 OR GREATER.
- A SOIL ANALYSIS SHOULD BE PERFORMED DETERMINING THE SOIL TEXTURE, ORGANIC MATTER AND ESSENTIAL NUTRIENTS. SOIL INFILTRATION RATE, MEASURE OF PH AND TOTAL SOLUBLE SALTS. ALL RECOMMENDATIONS SHALL BE ORGANIC AND NON-SYNTHETIC AND BASED ON RECYCLED WATER USE. TOP SOIL SHALL BE STOCKPILED ON SITE AS SPACE ALLOWS.
- AMENDMENTS OF SOILS DESIGNED TO PROMOTE HEALTHY WATER AND AIR ACCESS TO THE ROOT ZONE OF TREES TO BE PLANTED WITHIN 5 FEET OF ANY PAVEMENT OR OTHER COMPACTED AREA AND THE AMOUNT OF COMPOST SHALL ACHIEVE A MINIMUM OF 3.5% ORGANIC MATTER CONTENT BY DRY WEIGHT UNLESS SOIL REPORT RECOMMENDS AN ALTERNATIVE PERCENT OF ORGANIC MATTER TAILORED TO THE PLANT MATERIALS SPECIFIED IN THE LANDSCAPE DESIGN PLAN.
- THIS DRAWING IS FOR WATER USE CONCEPT PURPOSES AND DESIGNED WITH HYDROZONES. PROJECT TO BE DESIGNED TO ORDINANCE 1880 AND SHALL MEET CITY CODES. PER WATER USE REPORT ALL IRRIGATION IS TO BE DRIP OR SUBSURFACE. EACH IRRIGATION VALVE SHALL WATER ONE TYPE OF HYDROZONE.
- SEE CIVIL DRAWINGS FOR STORMWATER AND GRADING INFORMATION.
- SITE MANAGEMENT, SOIL PREPARATION, PLANT SPECIES SELECTION, IRRIGATION DESIGN AND PLANT/PEST MANAGEMENT TO COMPLY WITH BAY-FRIENDLY BEST PRACTICE RECOMMENDATIONS.

IRRIGATION NOTES

- ALL PLANT GROUPS ARE LAID OUT BY WATER ZONES DEPENDING ON WATER NEEDS. ALL PLANTING IS WATERED BY DRIP, BUBBLERS OR SUB-SURFACE IRRIGATION. TIE TO EXISTING IRRIGATION CONTROL SYSTEM. CONNECT TO WEATHER BASED CONTROLLER AND BACKFLOW PREVENTOR. COORDINATE WITH CLIENT REPRESENTATIVE.
- ALLOW ONE VALVE MINIMUM PER HYDRO ZONE IN EACH PLANTER. THERE ARE THREE TYPES OF WATER ZONE GROUPINGS FOR THIS WORK.
- ALLOW ONE OVERFLOW DRAIN AND DRAIN PER PLANTER. COORDINATE WITH PLUMBER AND ASSOCIATED TRADES.
- CONTROLLER SYSTEM TO BE WEATHERTRAK OR EQUAL WITH RAIN SENSOR. SUPPLY 2-YEAR SUBSCRIPTION. LOCATION TO BE DETERMINED.
- USE NETAFIM PRESSURE COMPENSATING DRIP LINES WITH EMITTERS AT 12" O.C. AND 0.9 GPH FOR IRRIGATION OR APPROVED EQUAL. ALL IRRIGATION LINES AND HEADS SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS ENSURING EQUIPMENT & INSTALLATION MEETS OR EXCEEDS STATE CODES.
- IRRIGATION LINES UNDER PAVING SHALL BE PLACED IN A SLEEVE THAT IS AT LEAST 2 SIZES LARGER THAN PIPE.
- CONTRACTOR TO VERIFY PRESSURE ON SITE BEFORE BEGINNING ANY IRRIGATION WORK.
- ALL THREADED JOINTS SHALL BE COATED WITH TEFLON TAPE.
- CONDUCT PRESSURE TEST.

PAVING



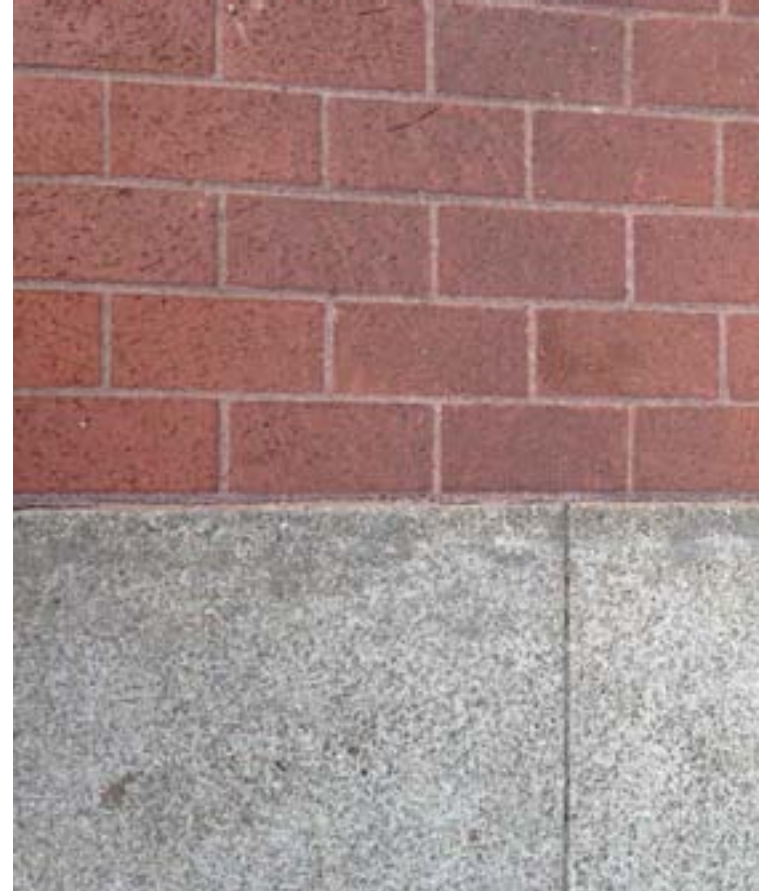
DARK GREY CONCRETE PAVERS WITH CONTINENTAL BANDING IN ELASTOMERIC WHITE PAINT, FLASHING LED SAFETY LIGHTS



DETECTABLE TACTILE WARNING, SURFACE-APPLIED SYSTEM DARK GRAY FOR USE AT ELEVATED & REGULAR CROSSWALK RAMPS



CONCRETE SIDEWALK WITH LAMP BLACK ADDITIVE



BRICK SIDEWALK ACCENT FIELD, RUNNING BOND PATTERN

LIGHTING



STREET LIGHT POLE TO MATCH EXISTING. PAINTED BLACK



TREES

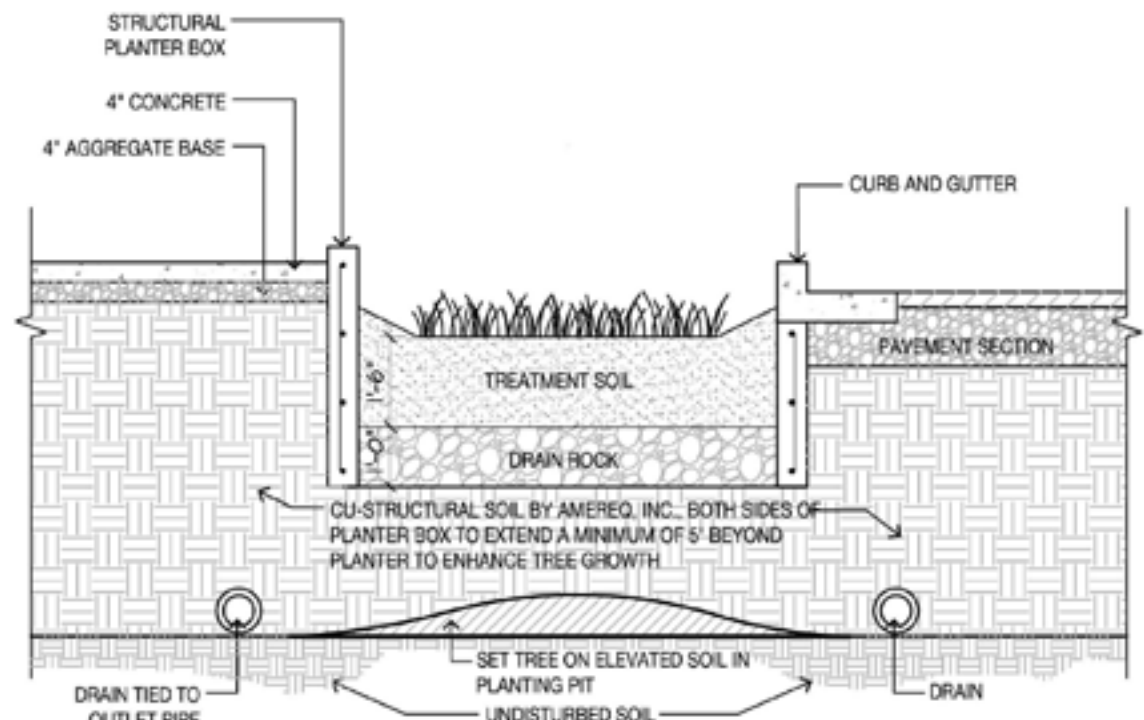


QUERCUS VIRGINIANA 'LEGACY' 'LEGACY' OAK

BIOSWALE



GRASS MIX OF CHONDROPETALUM & JUNCUS



BIOSWALE

FURNITURE



TREE GRATE, STEEL, RAW NATURAL FINISH, 4'X6'



METAL BENCH, CAST ALUMINUM POWDER COAT COLOR 'BLACK', EMBEDDED OR SURFACE MOUNT



PAIRED LITTER AND RECYCLING RECEPTACLES, SOLID CAST ALUMINUM



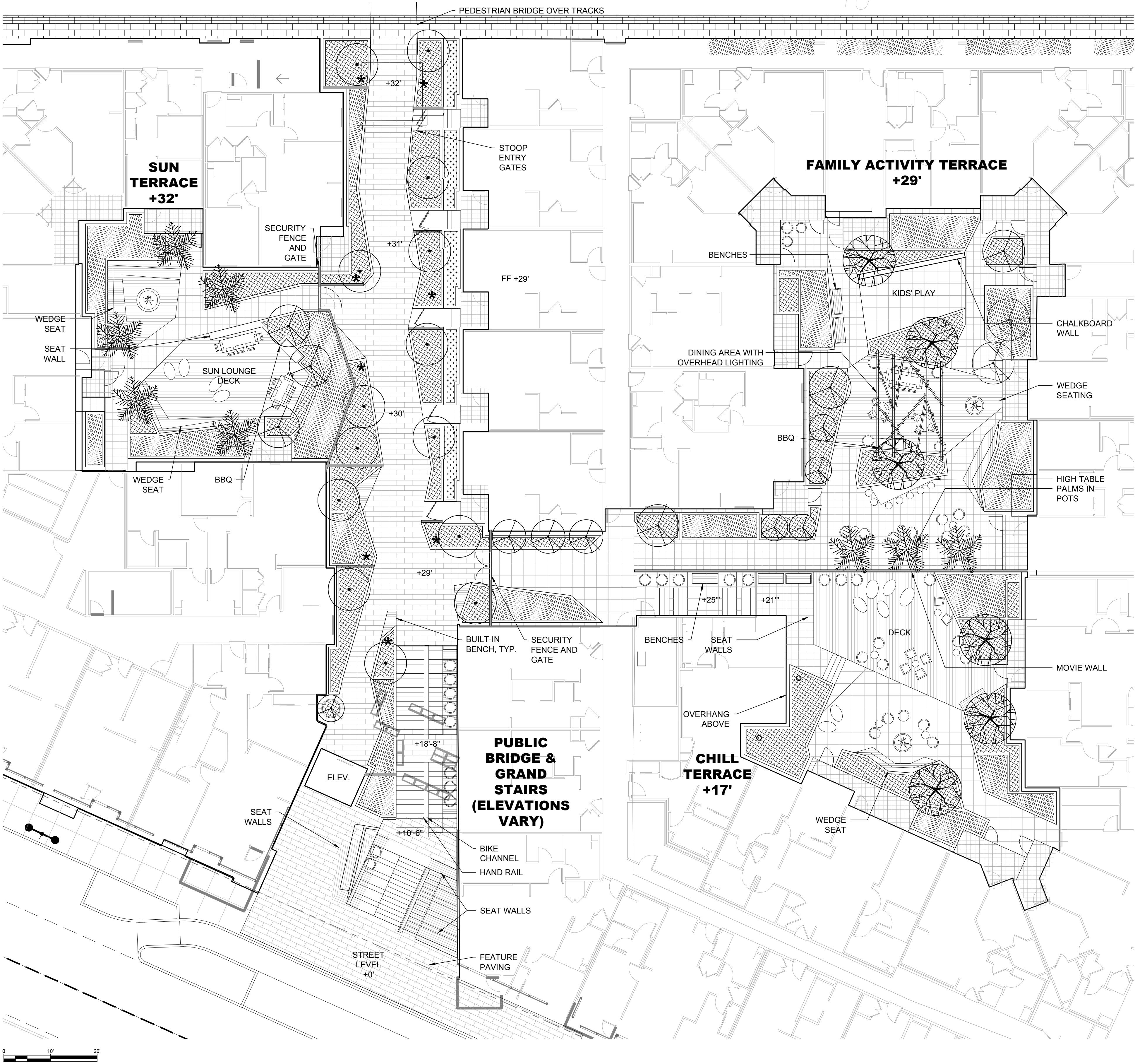
BIKE RACK, SOLID CAST ALUMINUM POWDERCOAT FINISH, SURFACE MOUNT



TYPICAL OUTDOOR CAFE SEATING (CHARACTER VARIES BY LOCATION)



A/C TRANSIT EMERY GO ROUND BUS SHELTER (IMAGE FOR REFERENCE)



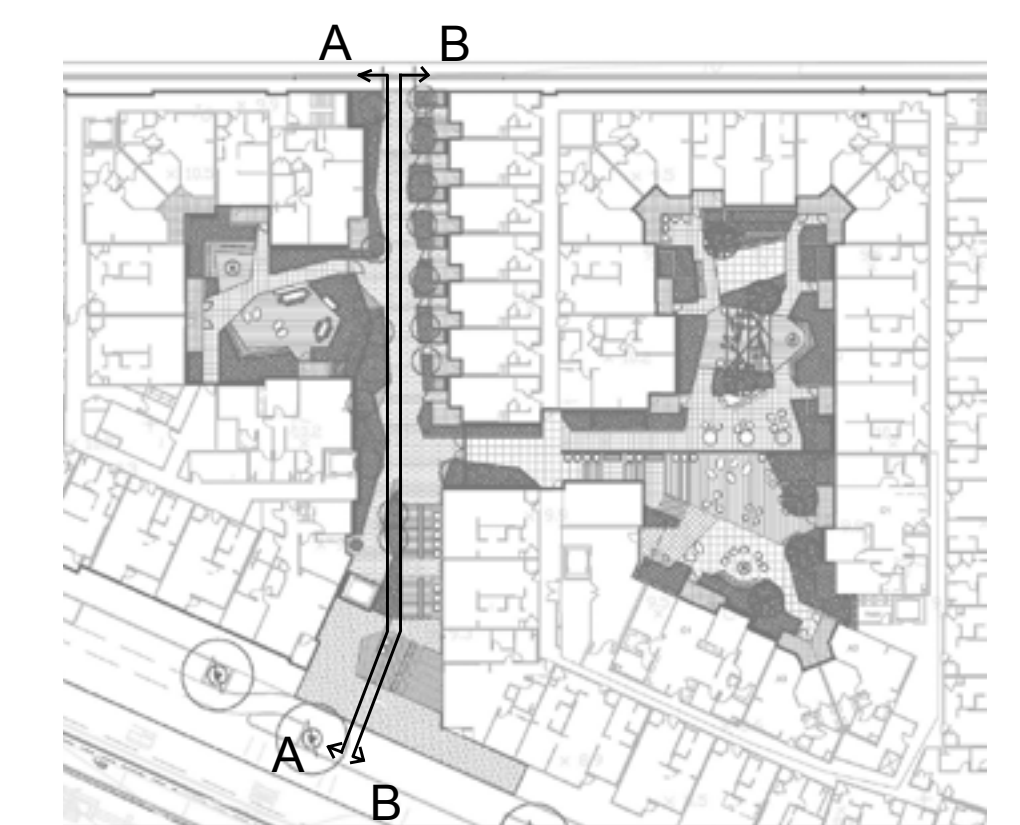
MATERIALS SCHEDULE			
ITEM	SYMBOL	DESCRIPTION	DETAIL
PAVING			
BRIDGE PAVING		6x24 CONCRETE PAVERS ON AGGREGATE BASE	SEE 2.2/2.3
PAVERS 01		24x24 CONCRETE PAVERS ON AGGREGATE BASE	SEE 2.2/2.3
PAVERS 02		12x12 CONCRETE PAVERS ON AGGREGATE BASE	SEE 2.2/2.3
PATIO PAVERS		6X6 CONCRETE PAVERS ON AGGREGATE BASE	SEE 2.2/2.3
SOFT PLAY TILE		PLAY SURFACE TILES	SEE 2.2/2.3
DECKING		NON COMPUSTIBLE DECK, TERRACES & BUILT-IN BENCHES	SEE 2.3
FIRE FEATURE		FIRE PITs. VARIOUS SIZES	SEE 2.3
PEBBLE SEATS		"PEBBLE" SEAT MOVEABLE FURNITURE FORMS	SEE 2.3
FEATURE LIGHT		PUBLIC BRIDGE WALK SIGNATURE LIGHT FIXTURES	SEE 2.3
BUILT IN BENCH		ORIGAMI WEDGE BENCHES	SEE 2.3
POTS		TBD	SEE 2.3

PLANTING SCHEDULE								
SYMBOL	CATEGORY	HYDROZONE	BOTANTICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS	IRRIGATION
TREES								
	PALM TREE	-	SYARGUS ROMANZOFFIANA	QUEEN PALM	8	36" BOX STANDARD	LOW	BUBBLER
	BRIDGE WALK FEATURE TREE	-	CARPINUS BETULUS 'FASTIGATA'	UPRIGHT EUROPEAN HORNBEAM	16	36" BOX STANDARD	MODERATE	BUBBLER
	COURTYARD TREES	-	ACER JAPONICA BETULA UTILIS X JACQUEMONTII PYRUS KAWAKAMII	JAPANESE MAPLE HIMALYAN WHITE BIRCH EVERGREEN PEAR	17	24" BOX STANDARD	MODERATE	BUBBLER
	COURTYARD FEATURE TREES	-	FRAXINUS ANGUSTIFOLIA RAYWOOD	RAYWOOD ASH	6	36" BOX STANDARD	MODERATE	BUBBLER
PLANTERS								
	ORNAMENTAL PLANTING	2	ACACIA COGNATA 'COUSIN ITT' AEONIUm SPECIES EUPHORBIA SPECIES MYOPORUM PARVIFOLIUM OLEA EUROPAEA 'LITTLE OLLIE' PHORMIUM SPECIES SENECIO CINERARIA WESTRINGIA FRUTICOSA 'MORNING LIGHT'	MINI COGNATA ACACIA AEONIUm SPECIES SPURGE SPECIES CREEPING BOOBIALLA DWARF OLIVE FLAX SPECIES DUSTY MILLER COASTAL ROSEMARY	2457 FT²	1-5 GAL / 4" (GROUND COVER)	MODERATE	DRIP
	BIOFILTRATION	3	JUNCUS EFFUSUS 'QUARTZ CREEK' CHONDROPETALUM TECTORUM	SOFT RUSH CAPE RUSH	1909 FT²	1-5 GAL	MODERATE	DRIP
	STOOP PLANTING	4	ALOE SPECIES ARTEMESIA LUDOVICIANA FESTUCA GLAUCA SALVIA OFFICINIACIAS PURPUREA STACHYS BYZANTINA	ALOE ARTEMESIA FESCUE SAGE LAMB'S EARS	158 FT²	1-5 GAL	MODERATE	DRIP

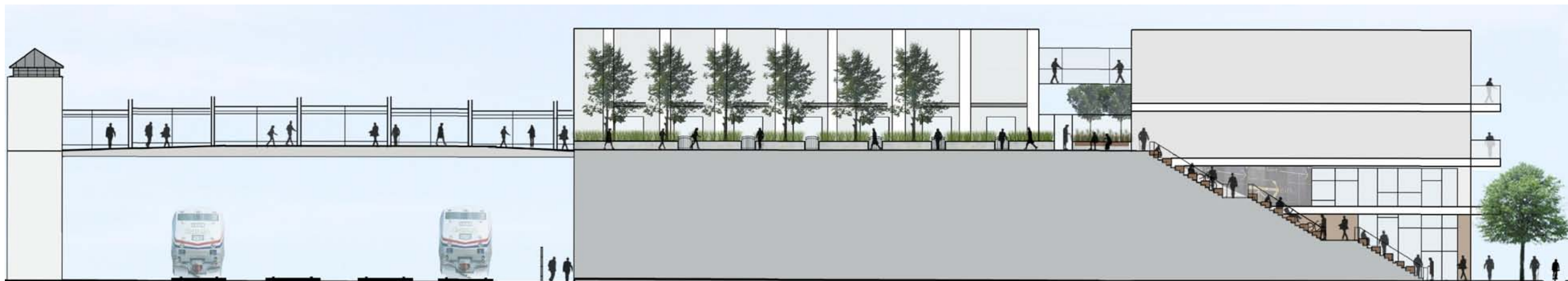




SECTION A 0 10' 20'



KEY MAP



SECTION B 0 10' 20'

STAIRS

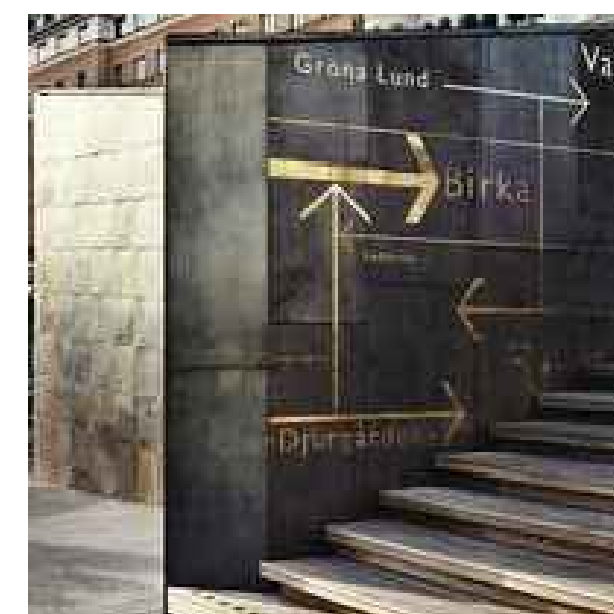


INTEGRATED STAIRS AND SEATS



INTEGRATED BIKE CHANNELS. SEE ATTACHED HANDOUT FOR ADDITIONAL IMAGERY & INFORMATION.

WAYFINDING & SIGNAGE



HISTORY WALL



HISTORY & PLACEMAKING

LIGHTING

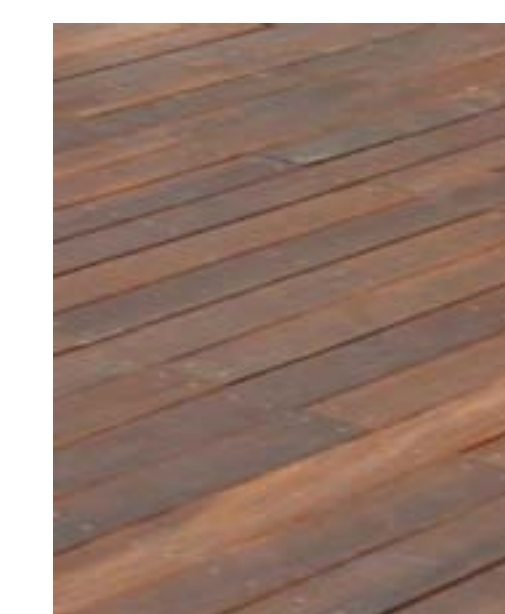


LIGHT RODS



INTEGRATED STAIR LIGHTING

MATERIALS



NON-COMBUSTIBLE DECKING/BENCHES



LINEAR PAVING



BOARD-FORMED CONCRETE PLANTERS

FURNITURE



CASCADING WOOD SEAT WALL



OVERSIZE CHAIRS



MOVEABLE FURNITURE



PEBBLE SEATING



BISTRO TABLES

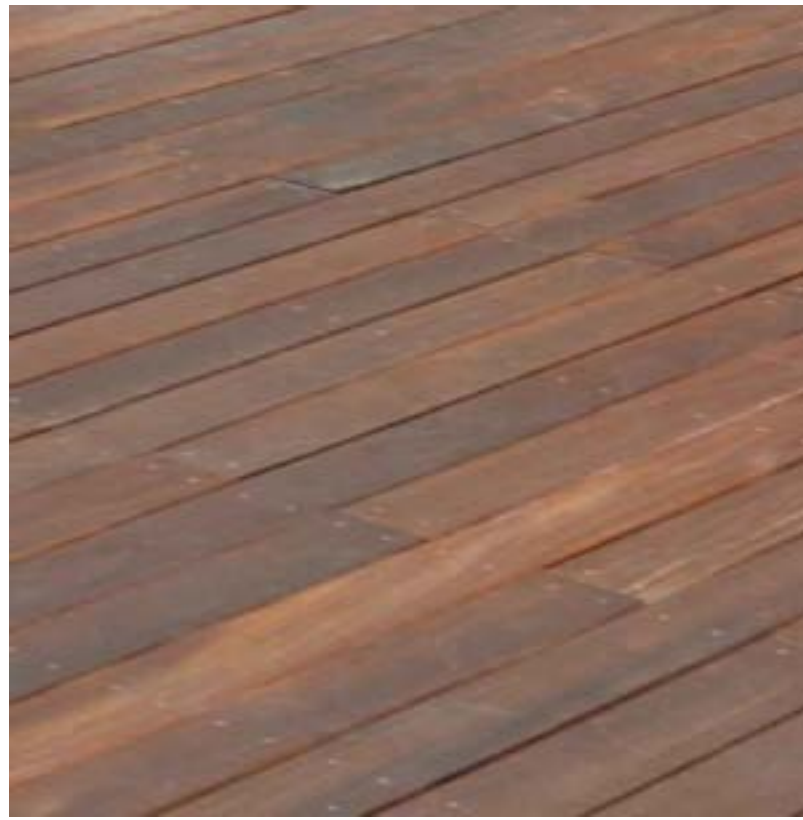


ORIGAMI WEDGE SEATING

MATERIALS



KEY MAP



NON-COMBUSTIBLE DECKING/BENCHES

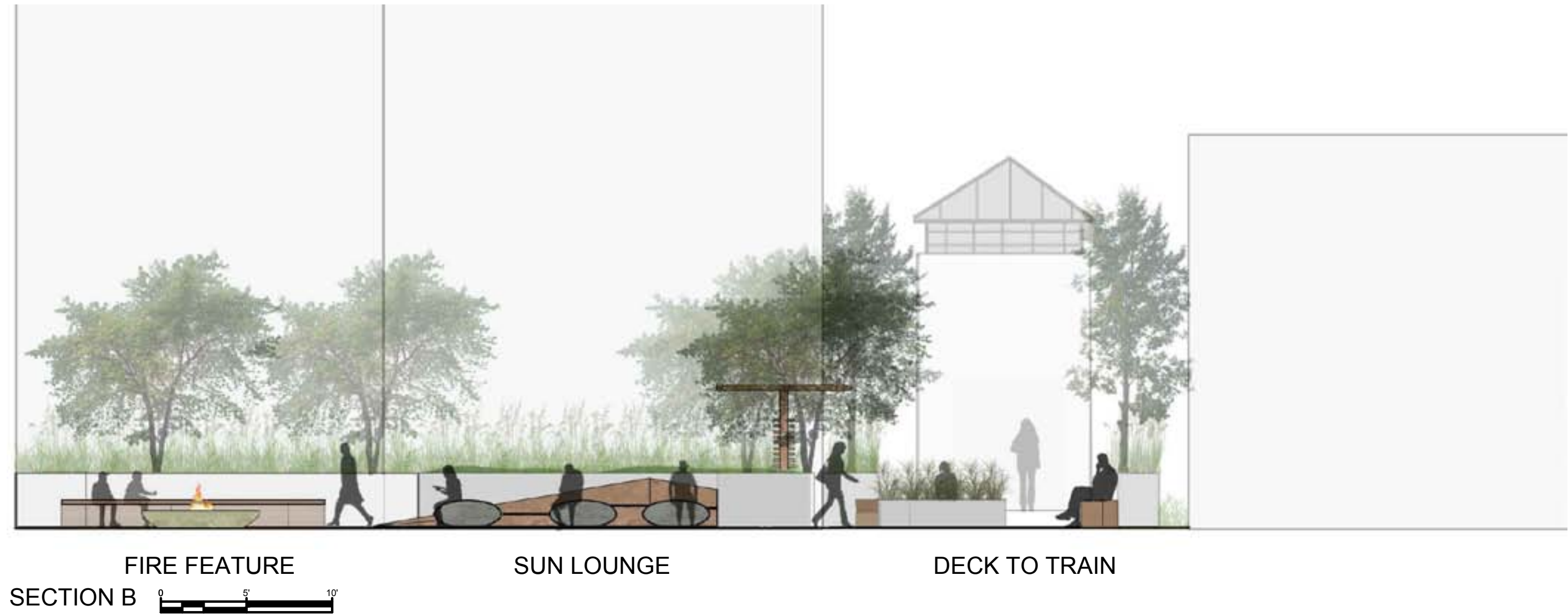


BOARD-FORMED CONCRETE PLANTERS



LINEAR PAVING

ACTIVITIES



MOVIE WALL



FIRE FEATURE

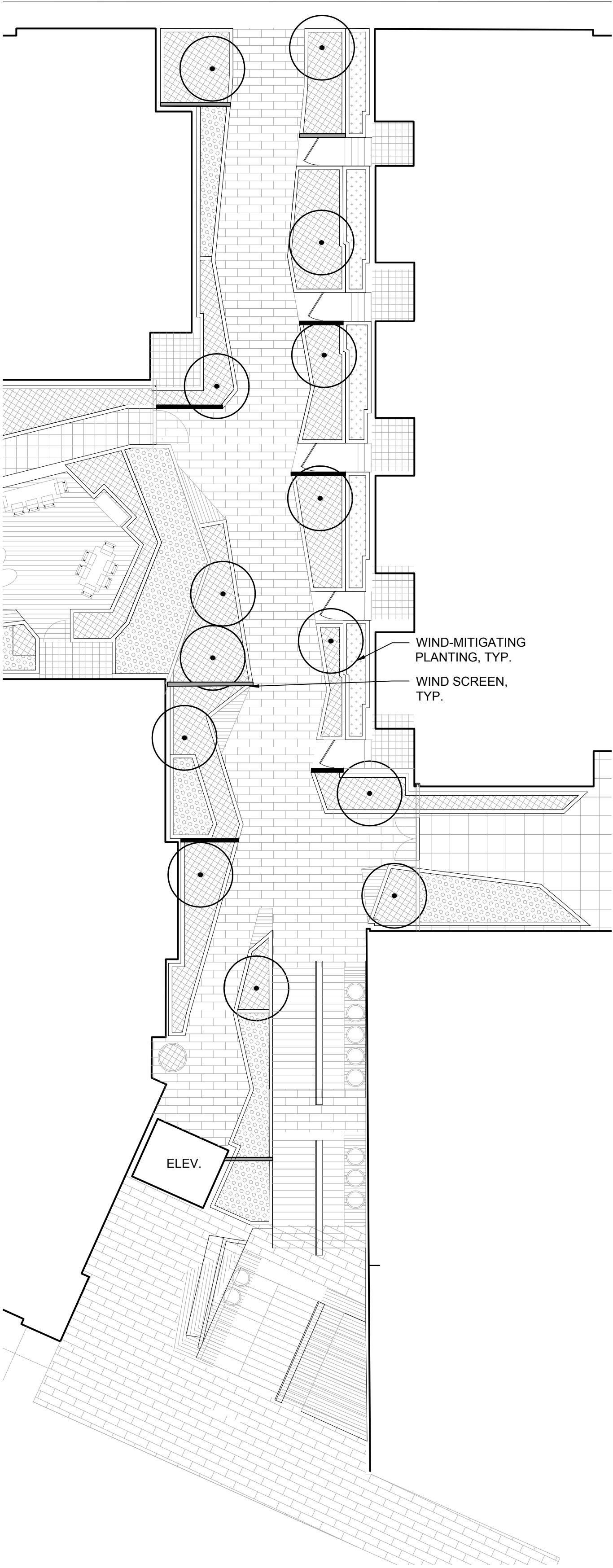


GAMES



KID'S ZONE CHALKBOARD WALL





BRIDGE WALK PLAN
 SCALE 1"= 10'-0"

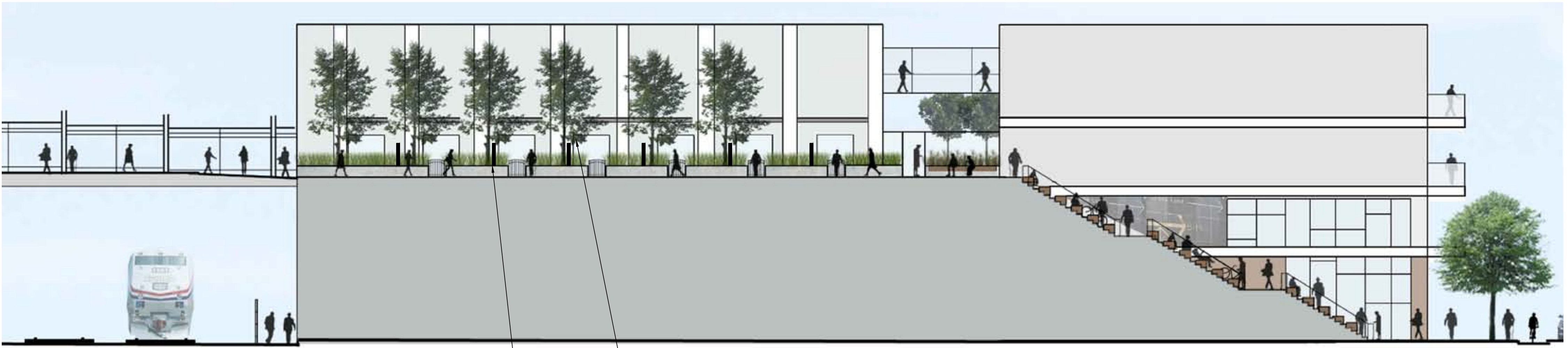
WIND MITIGATION LEGEND			
ITEM	SYMBOL	DESCRIPTION	NOTES
WIND SCREEN		8' TALL WIND DAMPENING SCREENS. 30-50% POROSITY. LOCATION, NUMBER, AND SIZES PER WIND CONSULTANT	
TREE		WIND-MITIGATING PLANTING	

WIND MITIGATION NOTES:

- DESIGN SHALL SATISFY CITY REQUIREMENTS REGARDING WIND MITIGATION.
- LOCATION, SIZE, AND NUMBER OF WIND MITIGATING ELEMENTS (TREES, SCREENS, ETC) TO BE DETERMINED IN COLLABORATION WITH WIND CERTIFIED CONSULTANT.

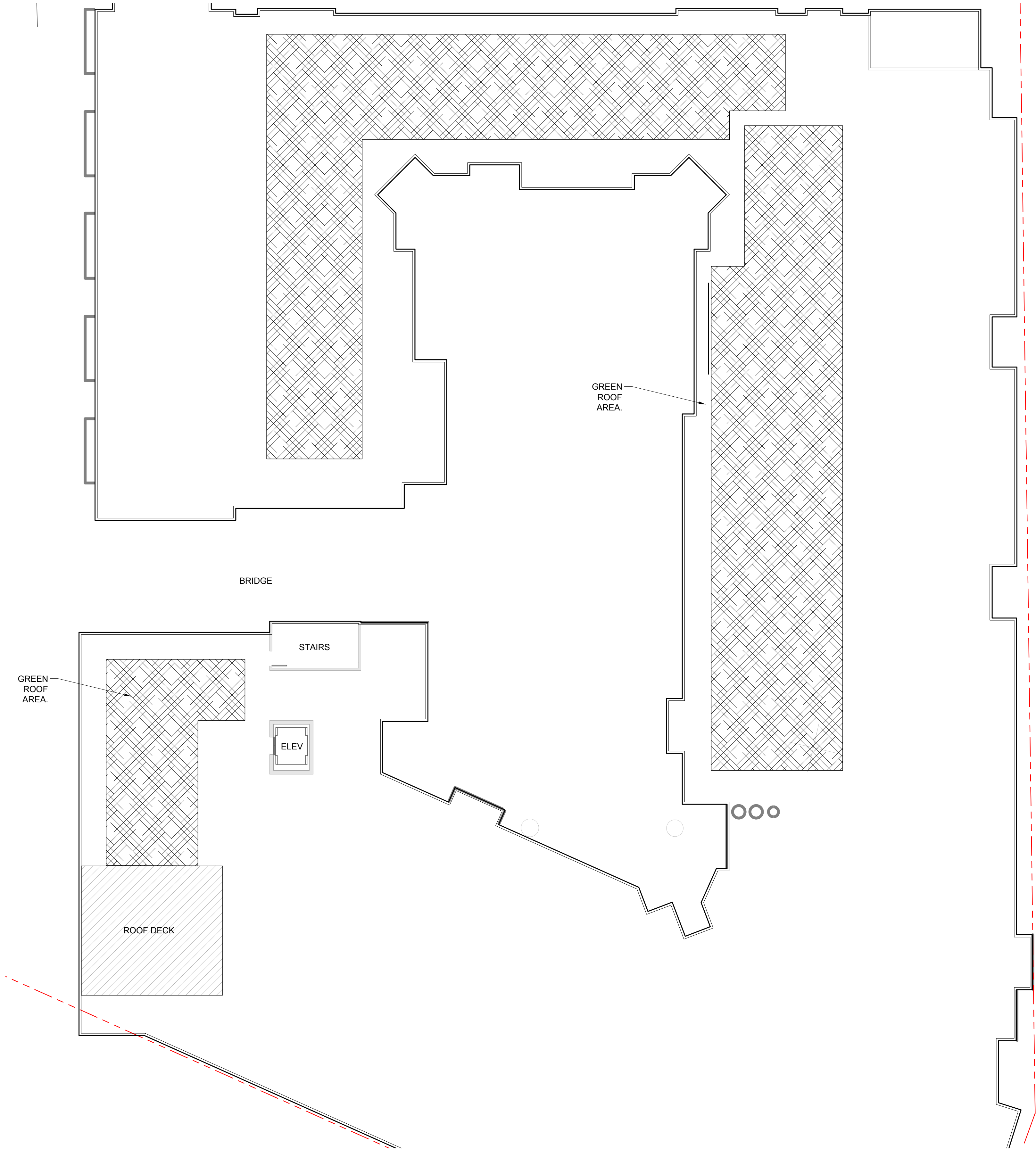


SECTION A



SECTION B WIND SCREEN, TYP. WIND-MITIGATING PLANTING, TYP.





GREEN ROOF

PLANT IMAGES



AEONIUM ARBOREUM 'ATROPURPUREUM'
PURPLE AEONIUM



ECHEVERIA ELEGANS
MEXICAN GEM



SEMPERVIVUM TECTORUM
HOUSELEEK



SEDUM ACRE
GOLDENMOSS STONECROP

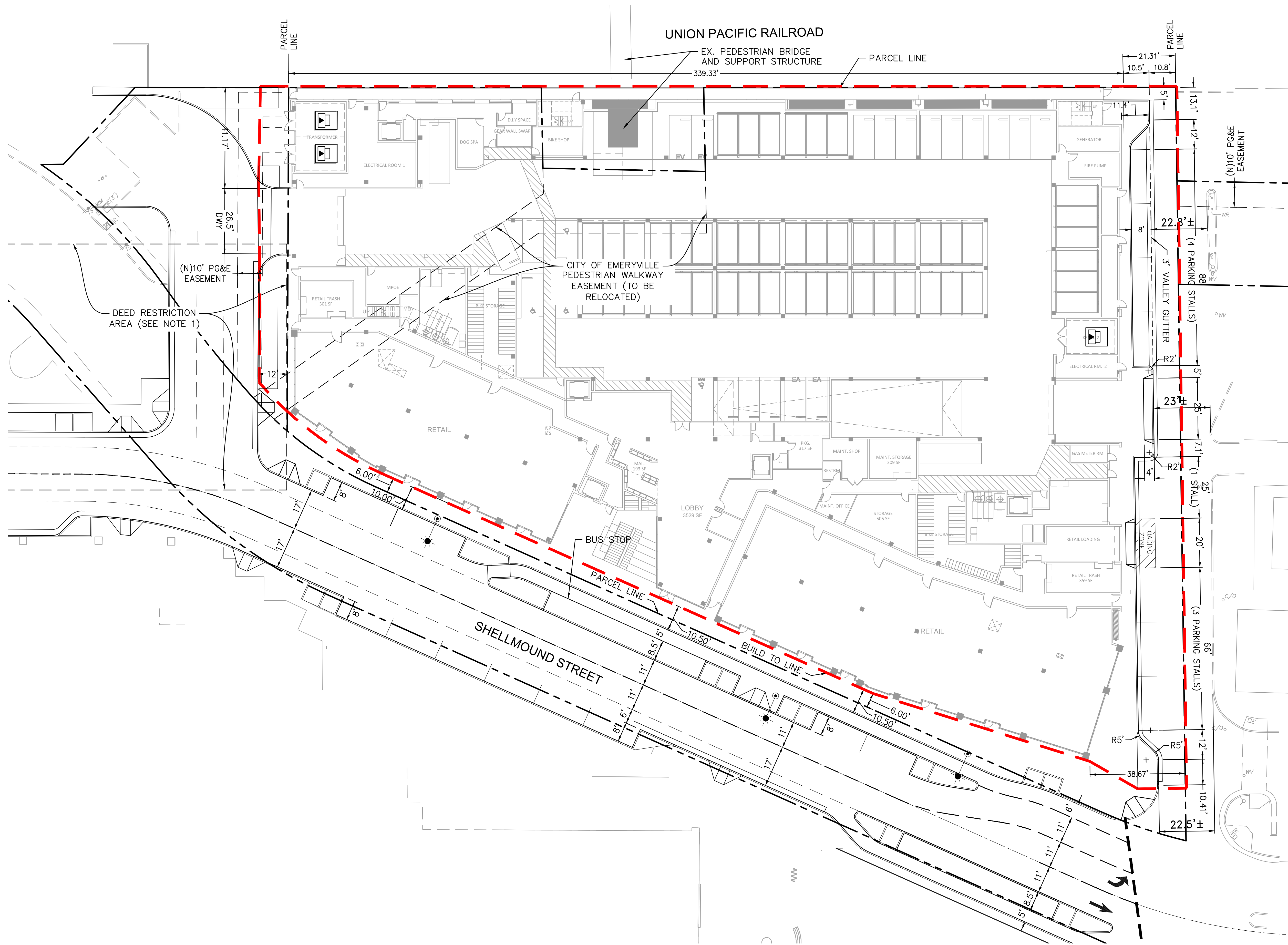
PLANTING SCHEDULE								
SYMBOL	CATEGORY	HYDROZONE	BOTANTICAL NAME	COMMON NAME	QTY.	SIZE	WUCOLS	IRRIGATION
PLANTS								
	GREEN ROOF PLANTING	5	AEONIUM ARBOREUM 'ATROPURPUREUM' ECHEVERIA ELEGANS GRAPTOSEDUM 'VERA HIGGINS' SEMPERVIVUM TECTORUM SEDUM ACRE	PURPLE AEONIUM MEXICAN GEM GRAPTOSEDUM 'VERA HIGGINS' HOUSELEEK GOLDENMOSS STONECROP	7,500 FT²	4"	LOW	DRIP

WATER ZONES LEGEND:					
HYDROZONE	PLANT WATER USE TYPE(S)	IRRIGAT. EFFIC.	PLANT FACTOR (PF)*	HYDROZONE AREA (HA) (SQUARE FEET)	PF X HA (SQUARE FEET)
1	MEDIUM	.85	.50	660	330
2	MEDIUM	.85	.50	1039	520
3	MEDIUM	.85	.50	3480	1740
4	MEDIUM	.85	.50	189	95
5	LOW	.85	.20	7,500	1,500

DEFINITIONS:	
MAWA =	MAXIMUM APPLIED WATER ALLOWANCE (GALLONS PER YEAR)
ETo =	REFERENCE EVAPOTRANSPIRATION (INCHES PER YEAR) DERIVED FROM APD.X.A OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE, CALIFORNIA DEPARTMENT OF WATER RESOURCES.
0.7 =	ET ADJUSTMENT FACTOR (ETAF)
LA =	PLANTED LANDSCAPE AREA INCLUDING SLA AND NOT INCLUDING HARDSCAPES. ALSO INCLUDE SURFACE AREA OF WATER FEATURES NOT USING RECYCLED WATER.
0.62 =	CONVERSION FACTOR (TO GALLONS PER SQUARE FOOT)
SLA =	PORTION OF THE LANDSCAPED AREA IDENTIFIED AS SPECIAL LANDSCAPED AREA. ALSO INCLUDE SURFACE AREA OF WATER FEATURES USING RECYCLED WATER.
0.3 =	THE ADDITIONAL ET ADJUSTMENT FACTOR FOR SLA (1.0 - 0.7 = 0.3)

WATER USE EVALUATION:
MAXIMUM APPLIED WATER ALLOWANCE (MAWA): MAWA = (ETo) (0.62) [(0.7 X LA) + (0.3 X SLA)] = (41.8)(0.62)[(0.7 X 12,868ft²) + (0.3 x 0ft²)] = (25.9in/year)(9,007ft²) = 233,296 gallons/year
ESTIMATED TOTAL WATER USE (ETWU): ETWU = (ETo)(0.62)[((PFxHA)/IE)+(SLA)] = (41.8)(0.62)[(4185/0.85)+0] = (25.9)(4,923) = 127,519 gallons/year
SUMMARY: MAXIMUM APPLIED WATER ALLOWANCE (MAWA): 233,296 gallons/year ESTIMATED TOTAL WATER USE (ETWU): 127,519 gallons/year (54%)





LEGEND

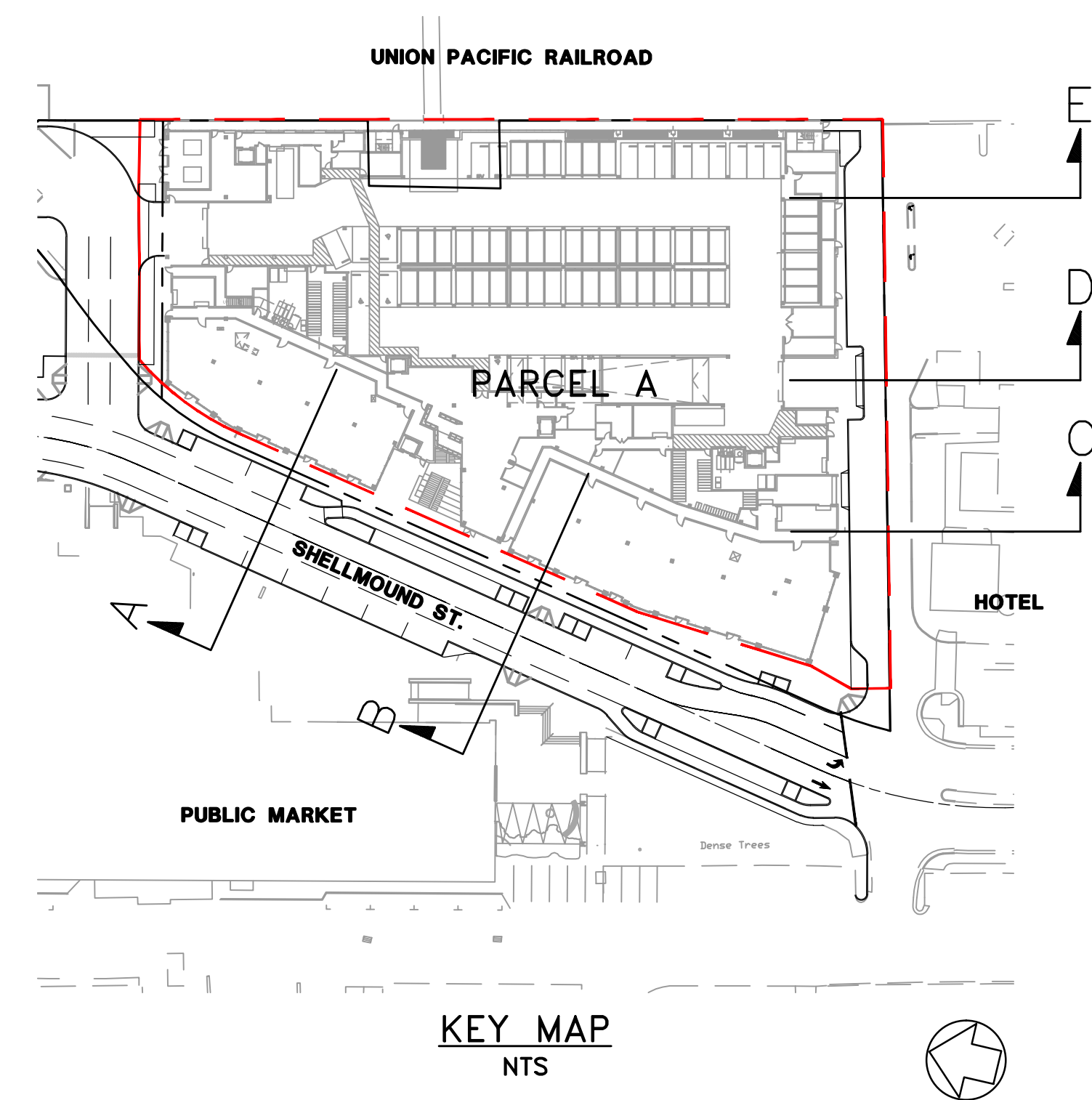
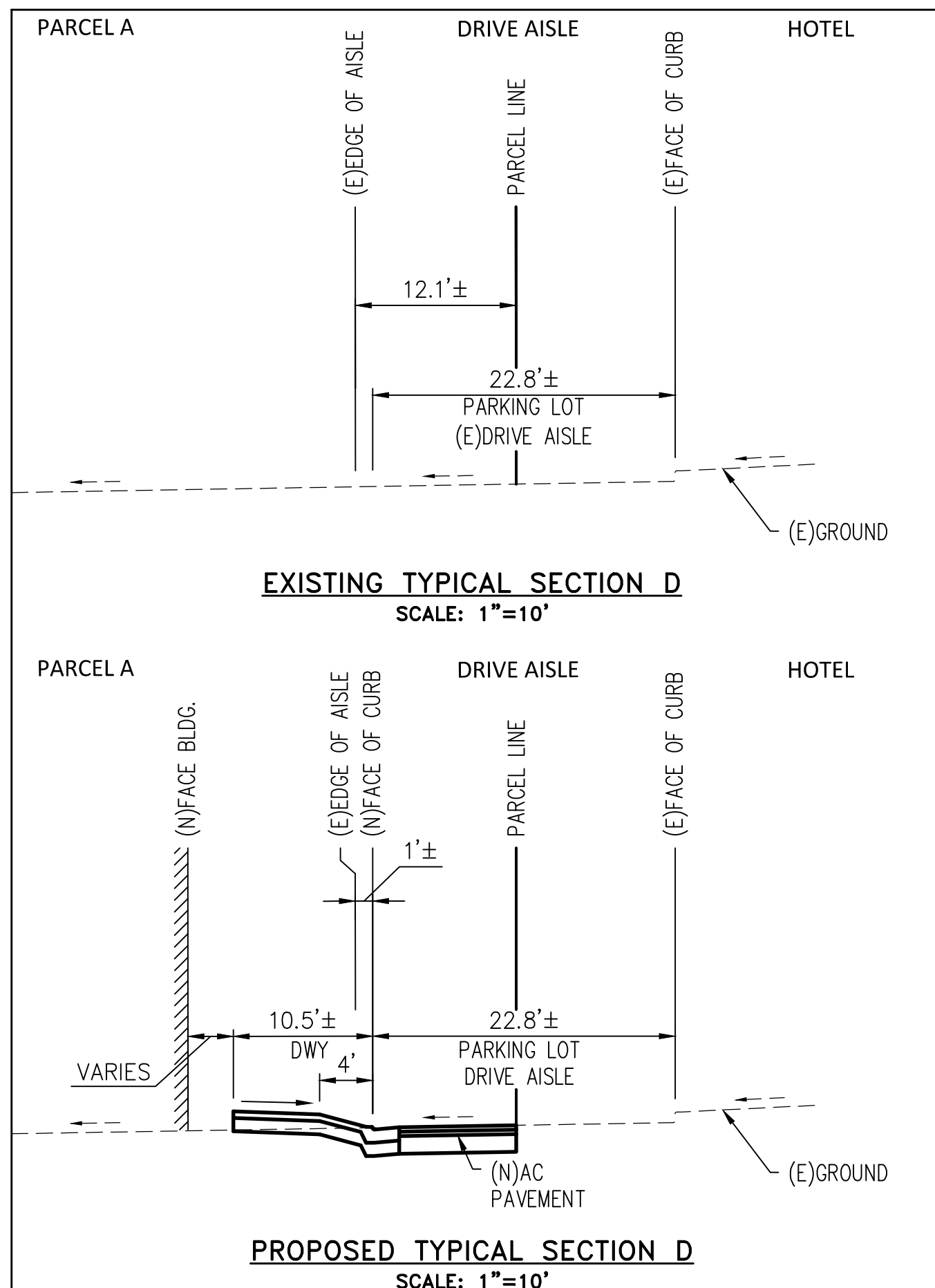
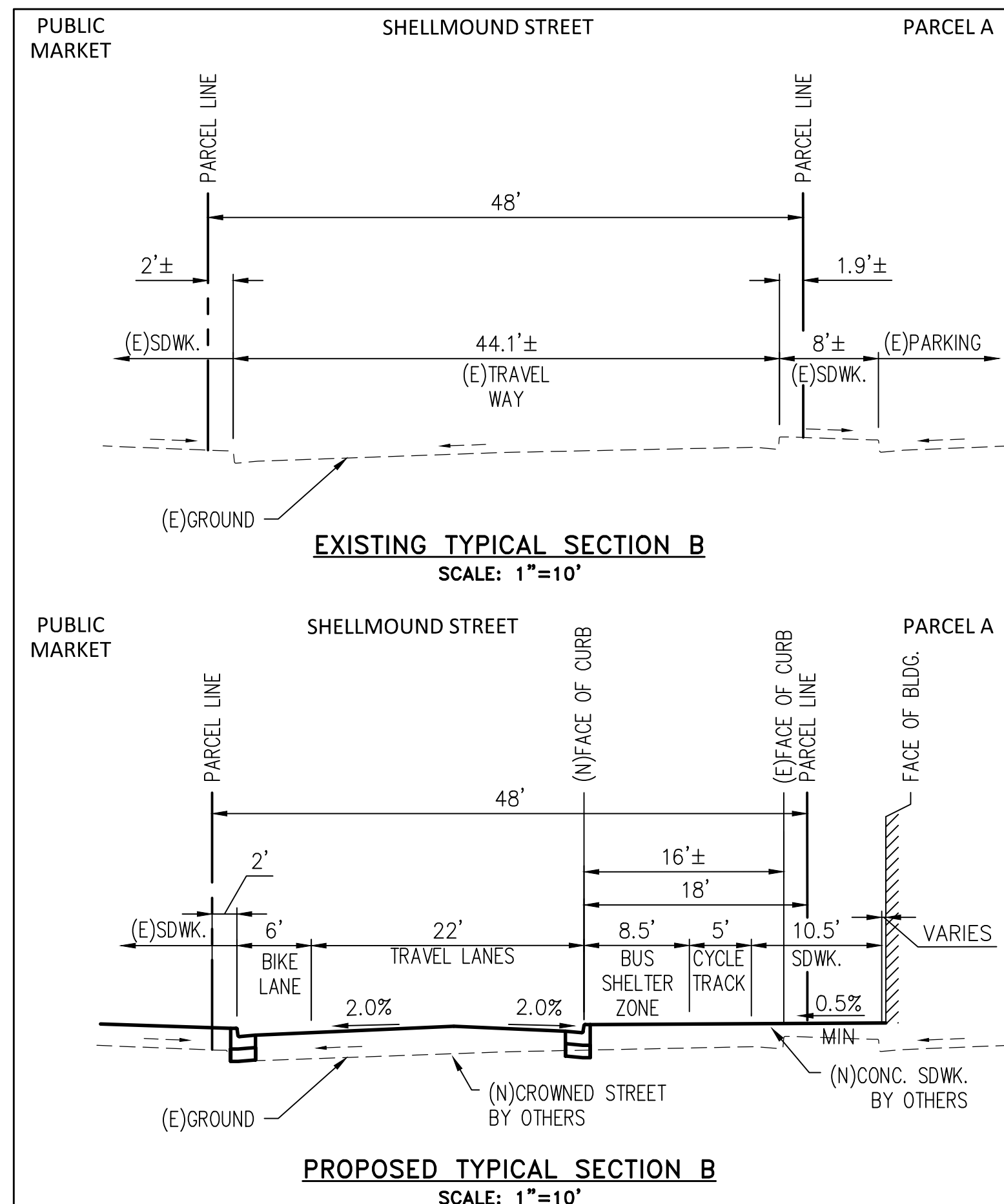
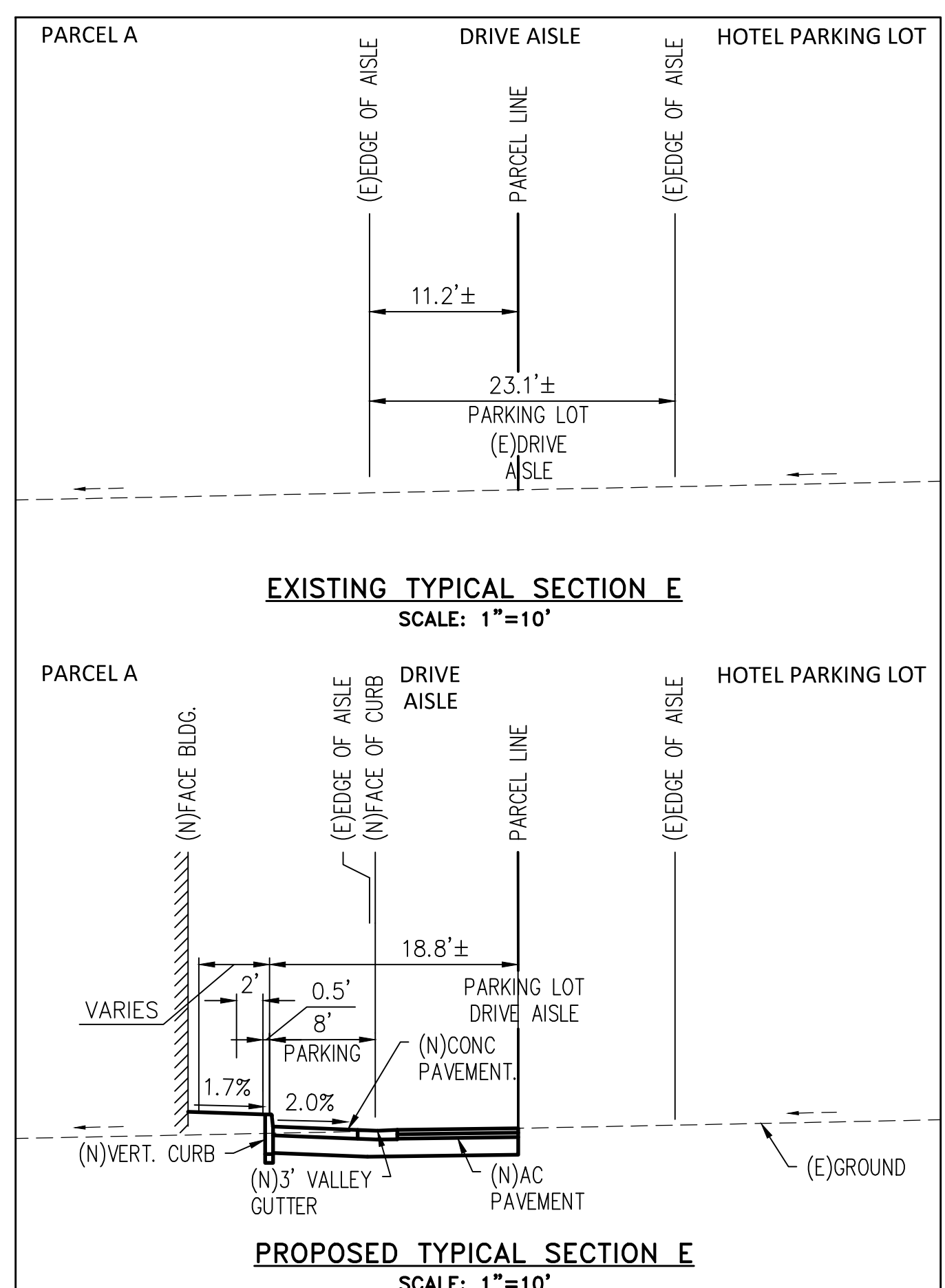
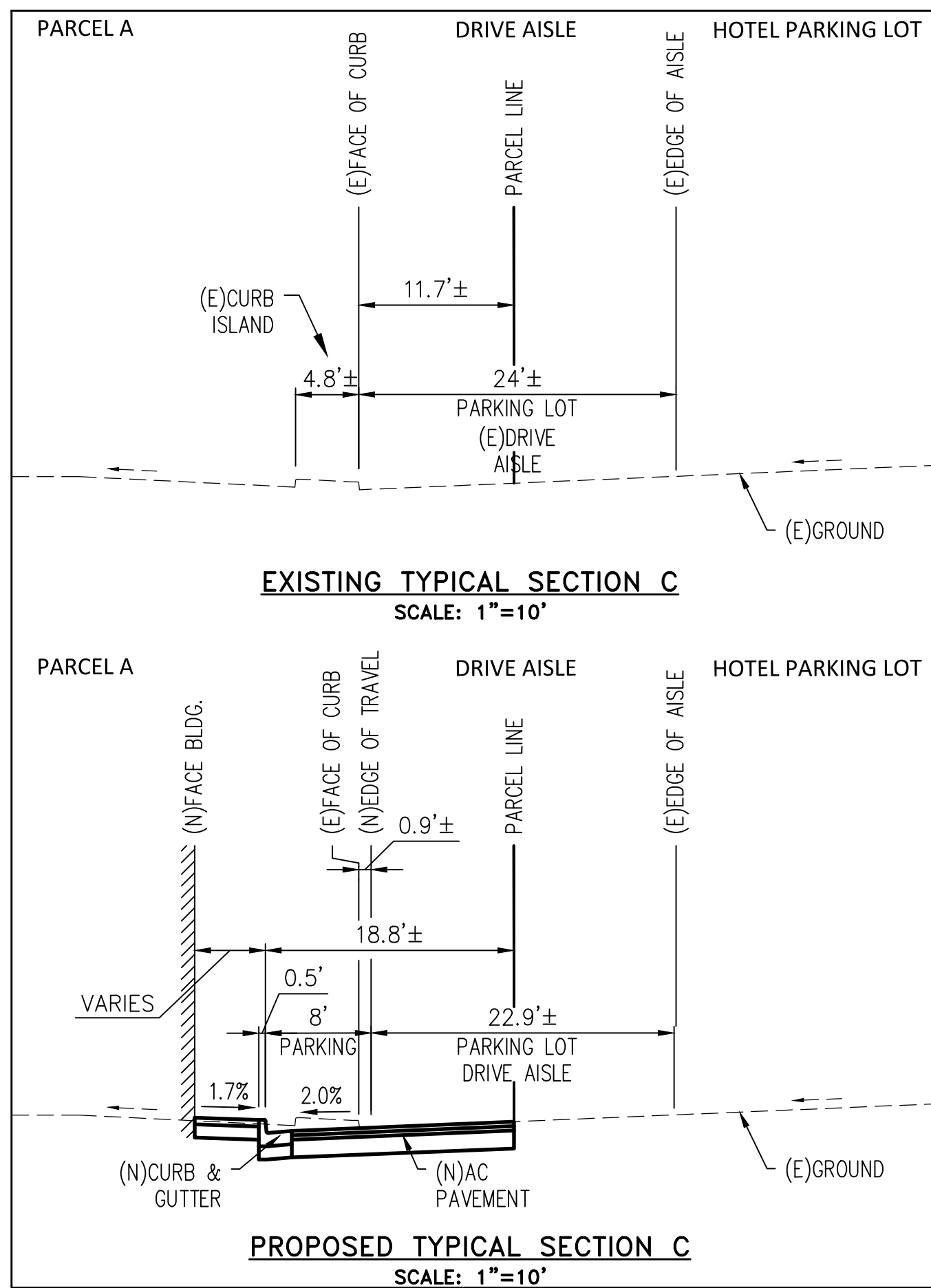
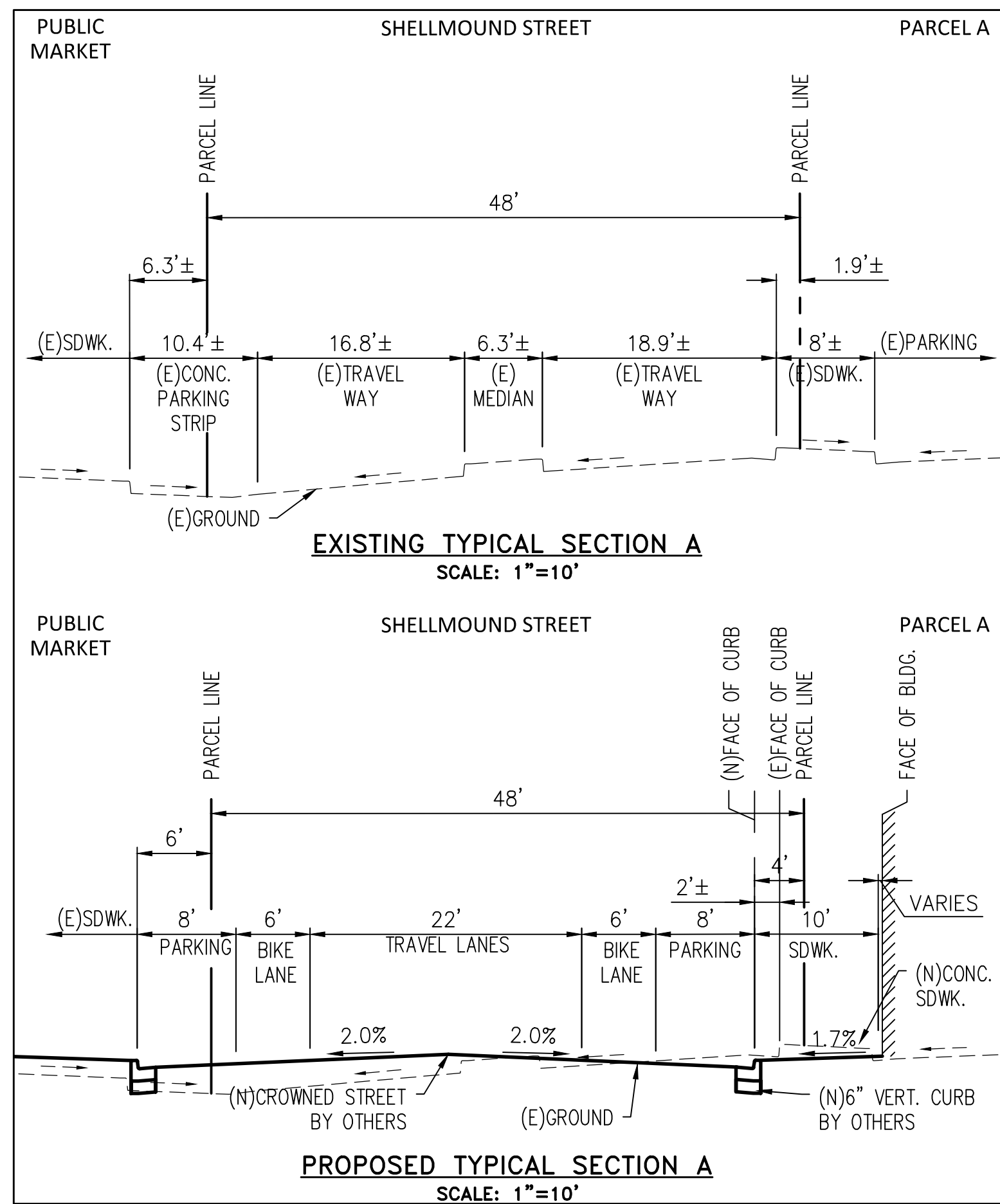
PARCEL LINE
LIMITS OF ENTITLEMENT

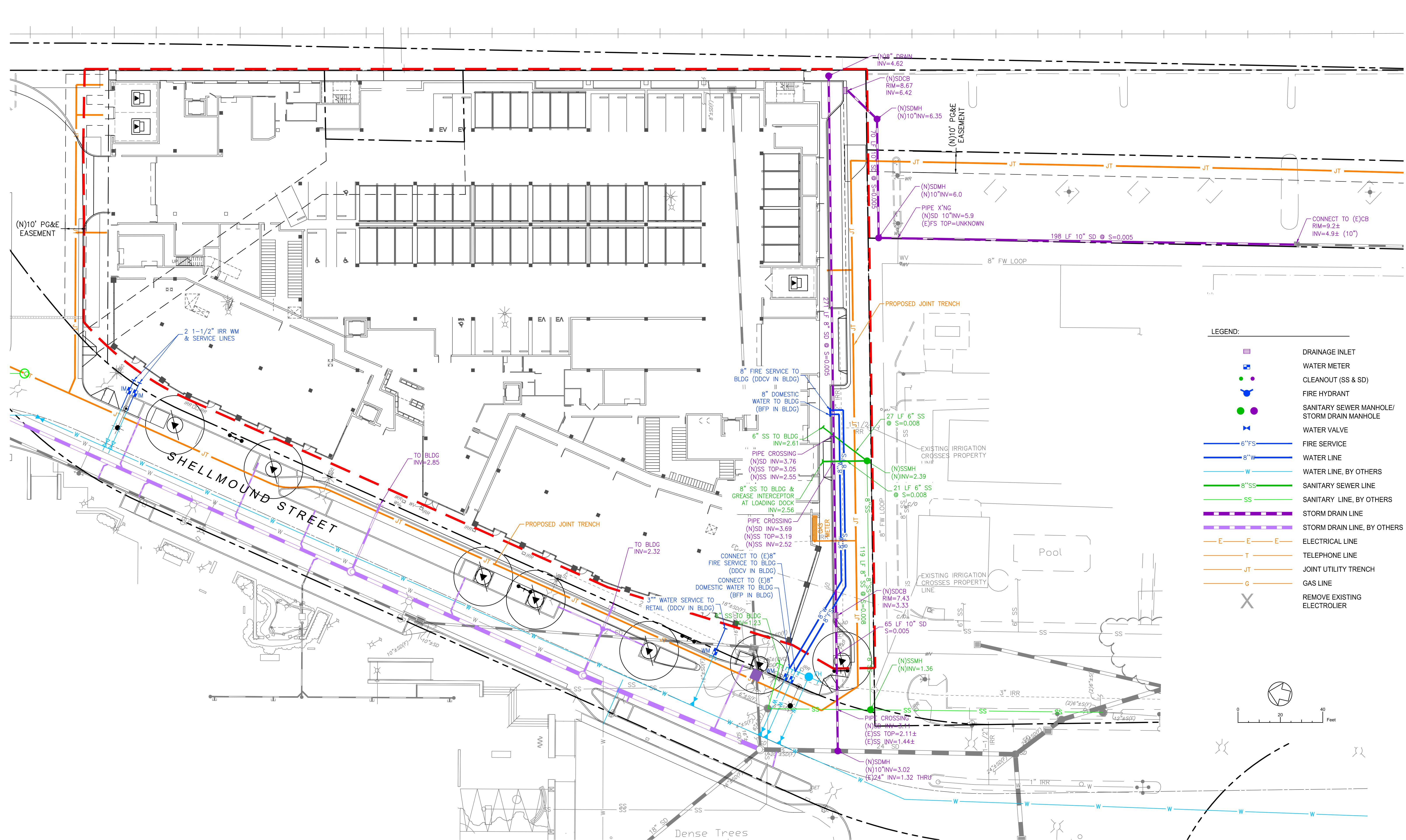


NOTES:

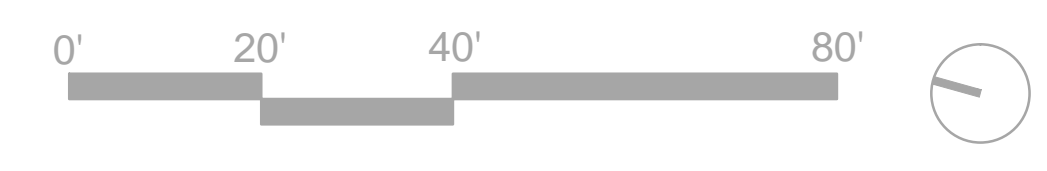
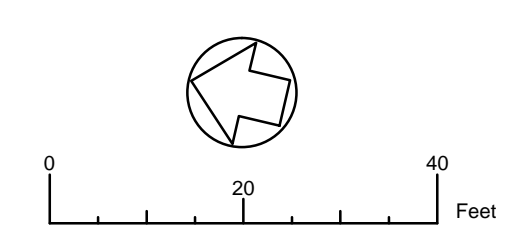
1. DEED RESTRICTION SHOWN ON THIS PLAN IS BASED UPON "COVENANT TO RESTRICT USE OF PROPERTY", RECORDED JUNE 1, 2015, INSTRUMENT NO. 20151443 OFFICIAL RECORDS OF ALAMEDA COUNTY.
2. PARCEL A IS PER METES AND BOUNDS DESCRIPTION PER EXHIBIT A ON SHEET 1 AND PLOTTED ON SHEET 2 OF A.L.T.A./A.C.S.M. LAND TITLE SURVEY, DATED 6/05/2014, PREPARED BY BKF ENGINEERS FOR AG-CCRP PUBLIC MARKET, L.P.

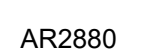






- LEGEND:
- DRAINAGE INLET
 - WATER METER
 - CLEANOUT (SS & SD)
 - FIRE HYDRANT
 - SANITARY SEWER MANHOLE/ STORM DRAIN MANHOLE
 - WATER VALVE
 - 6" FS FIRE SERVICE
 - 8" W WATER LINE
 - W WATER LINE, BY OTHERS
 - 8" SS SANITARY SEWER LINE
 - SS SANITARY LINE, BY OTHERS
 - STORM DRAIN LINE
 - STORM DRAIN LINE, BY OTHERS
 - E ELECTRICAL LINE
 - T TELEPHONE LINE
 - JT JOINT UTILITY TRENCH
 - G GAS LINE
 - X REMOVE EXISTING ELECTROLIER





	Off-site Treatment Areas			
	NE	NW	SE	SW
Drainage Areas				
Landscaping	380	130	140	140
Impervious	620	450	3,076	3,225
Total	1,000	580	3,216	3,365
Treatment Areas				
Landscaping (1% of area)	4	1	1	1
Impervious (4% of area)	25	18	123	129
Total	29	19	124	130

Note:
Off-site treatment areas at the northwest and northeast areas of the site are sized to accommodate run-on from Parcel B to the north.

EMERYVILLE PUBLIC MARKET
PRELIMINARY STORMWATER TREATMENT CALCULATIONS
Per C.3 Stormwater Technical Guidance Manual
Alameda County Clean Water Program

PARCEL D ON-SITE TREATMENT AREA	North Tower	Grand Stair	South Tower	UNIT	NOTE
	20,500 0.47	4,410 0.10	46,120 1.06	SF AC	Reference Appendix C, Example C.2 for Calculation Methodology
SOIL TYPE	D	D	D		
MEAN ANNUAL PRECIPITATION RATE	20	20	20	in	Appendix D, Attachment 6
B1 Areas of Each Treatment Measure:					
LANDSCAPE AREA	1,780	600	10,505	SF	
IMPERVIOUS (roof, patios, etc.)	18,720	3,810	35,615	SF	
TOTAL AREA	20,500	4,410	46,120		
B2 Calculate Effective Impervious Area					
LANDSCAPE AREA	178	60	1,051	SF	Pervious Area x 0.10
IMPERVIOUS (roof, patios, etc.)	18,720	3,810	35,615	SF	
TOTAL EFFECTIVE IMP AREA	18,898	3,870	36,666	SF	
B3 Determine Unit Basin Storage Volume for 80% Capture					
OAKLAND AIRPORT RAIN GAUGE					
a) RUNOFF COEFFICIENT OF DMA FOR C=1.0	0.67	0.67	0.67	in	Table 5-2, Chapter 5 (pg 5-9)
b) AIRPORT MEAN ANNUAL PRECIPITATION	18.35	18.35	18.35	in	Table 5-2, Chapter 5 (pg 5-9)
c) ACTUAL MEAN ANNUAL PRECIPITATION OF SITE	20.00	20.00	20.00	in	Appendix D, Attachment 6
ADJUSTED UNIT BASIN STORAGE VOLUME	0.73	0.73	0.73	in	= a x c/b
B4 Calculate Water Quality Design Volume					
TOTAL EFFECTIVE IMP AREA	18,898	3,870	36,666	SF	
x UNIT BASIN STORAGE VOLUME IN FT	0.0609	0.0609	0.0609	FT	B3 * 1/12
WATER QUALITY DESIGN VOLUME	1,150	236	2,231	CFT	
B5 Surface Loading Rate of Soil					
RATE REQUIRED BY PERMIT	5	5	5	IN/HR	
B6 Duration of Storm for Required Capture Volume					
a) UNIT BASIN STORAGE VOLUME	0.73	0.73	0.73	in	Result of B3
b) STORM INTENSITY	0.20	0.20	0.20	IN/HR	Provided by Manual
DURATION OF RAIN EVENT	3.65	3.65	3.65	HRS	=a/b
B7 Calculate Bioretention Treatment Volume					
STANDARD SIZING FACTOR OF 4%	756	155	1,467	SF	4% of B2
AREA REDUCED BY 25%	567	116	1,100	SF	
BIORETENTION TREATMENT VOLUME	863	177	1,673	CFT	Reduced Area x B5/12 X B6
B8 Calculate Difference between WQDV & Treatment Volume					
B4 VOLUME - B7 VOLUME	288	59	558	CFT	
TREATMENT AREA (REDUCED B7)	567	116	1,100	FT	
REQUIRED DEPTH OF STORAGE (FT)	0.51	0.51	0.51	FT	
REQUIRED DEPTH OF STORAGE (in)	6.09	6.09	6.09	in	
Is depth within 6-12 inches?	Yes	Yes	Yes		
B9 Reduced Treatment Area to Optimize Treatment Volume					
ASSUMED TREATMENT AREA	720	130	1,370	SF	
BIORETENTION TREATMENT VOLUME	1,095	198	2,084	CFT	Reduced Area x B5/12 X B6
B8 Calculate Difference between WQDV & Treatment Volume					
B4 VOLUME - B9 VOLUME	55	38	147	CFT	
TREATMENT AREA (REDUCED B9)	720	130	1,370	FT	
REQUIRED DEPTH OF STORAGE (FT)	0.08	0.29	0.11	FT	
REQUIRED DEPTH OF STORAGE (in)	0.91	3.48	1.29	in	

UPDATED: 6/29/2015

